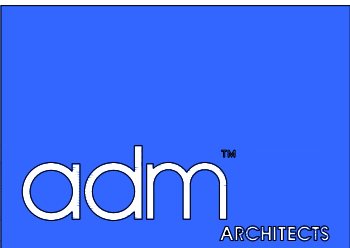


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ISSUE	DATE	DESCRIPTION
A	27-10-2023	ADDITIONAL INFORMATION FOR DA

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STORAGE
Note:
PROVISION FOR 18 RESIDENTIAL EV CHARGING POINT
(1 PER UNIT)



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Project
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SHOPS AND CARPARKING

At
37-39 BURELLI STREET
WOLLONGONG

For
BURELLI INVESTMENTS PTY LTD

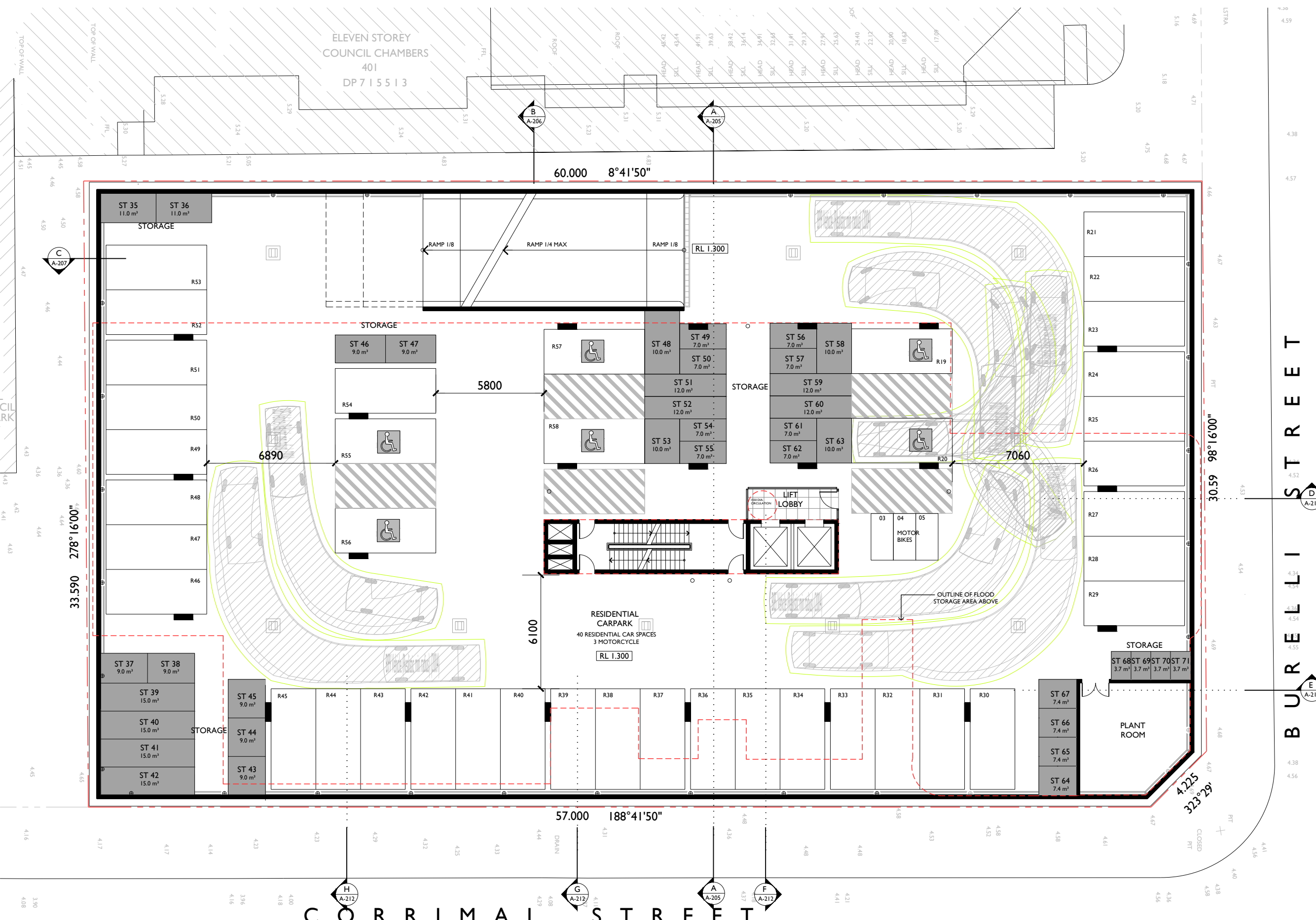
Title
DEVELOPMENT APPLICATION
BASEMENT 02 FLOOR PLAN

Scale
1:100 @ A1
1:200 @ A3

Drawn
LGD, HR

Project No.
2021-32

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B	31-01-2023	REISSUED FOR DA
C	27-10-2023	ADDITIONAL INFORMATION FOR DA

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STORAGE
Note:
PROVISION FOR 40 RESIDENTIAL EV CHARGING POINT
(1 PER UNIT)



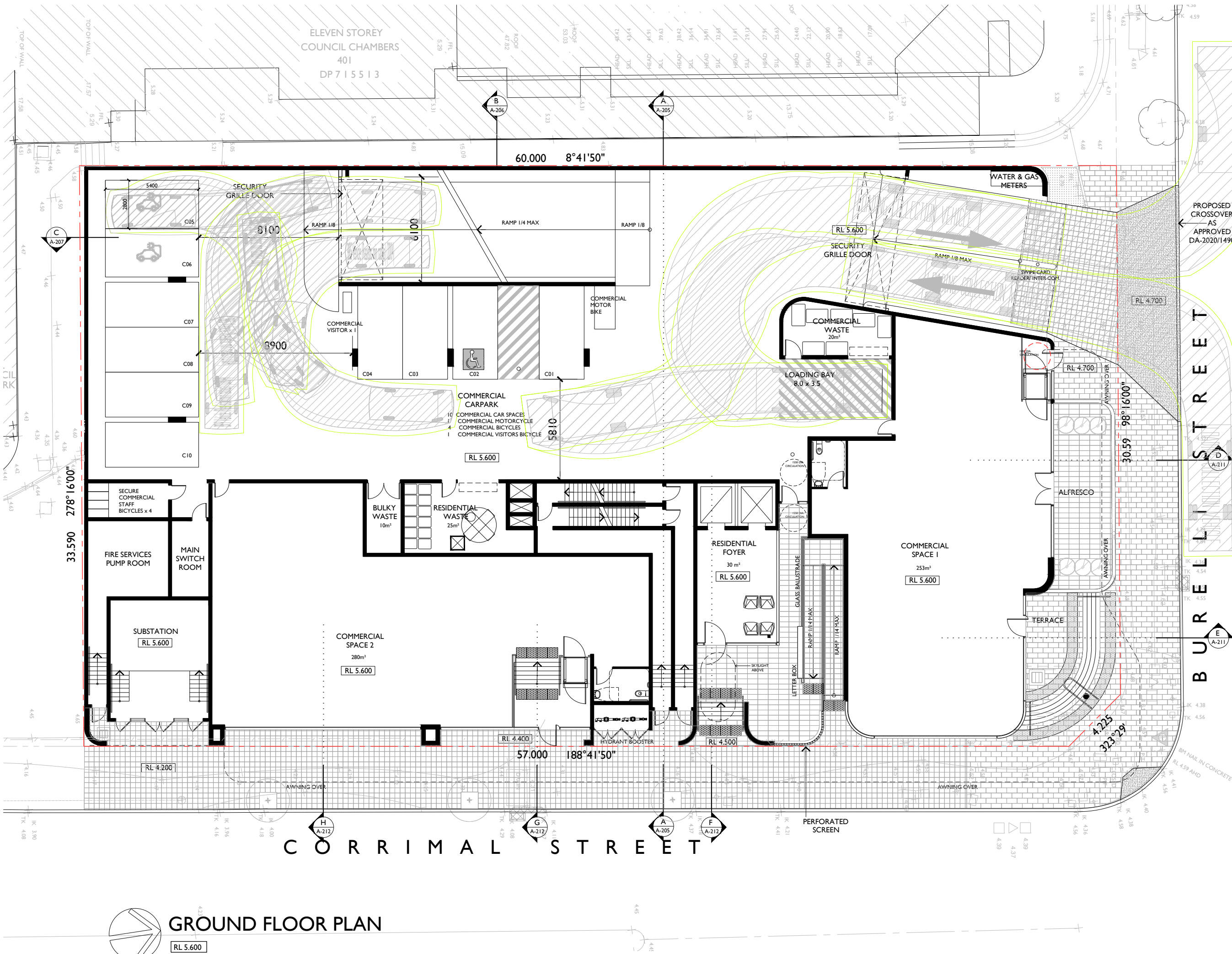
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Title DEVELOPMENT APPLICATION BASEMENT 01 FLOOR PLAN		
Scale 1:100 @ A1 1:200 @ A3	Date OCTOBER 2023	
Drawn	Checked	
LGD, HR	ADM	
Project No. 2021-32	Drawing No. A-102	Issue C

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C	27-10-2023	ADDITIONAL INFORMATION FOR DA
D	08-04-2024	ADDITIONAL INFORMATION FOR DA
E	26-06-2024	ADDITIONAL INFORMATION FOR DA

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PROPOSED CROSSOVER AS APPROVED DA-2020/1490

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At
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WOLLONGONG

For
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Title
DEVELOPMENT APPLICATION
GROUND FLOOR PLAN

Scale
1:100 @ A1
1:200 @ A3

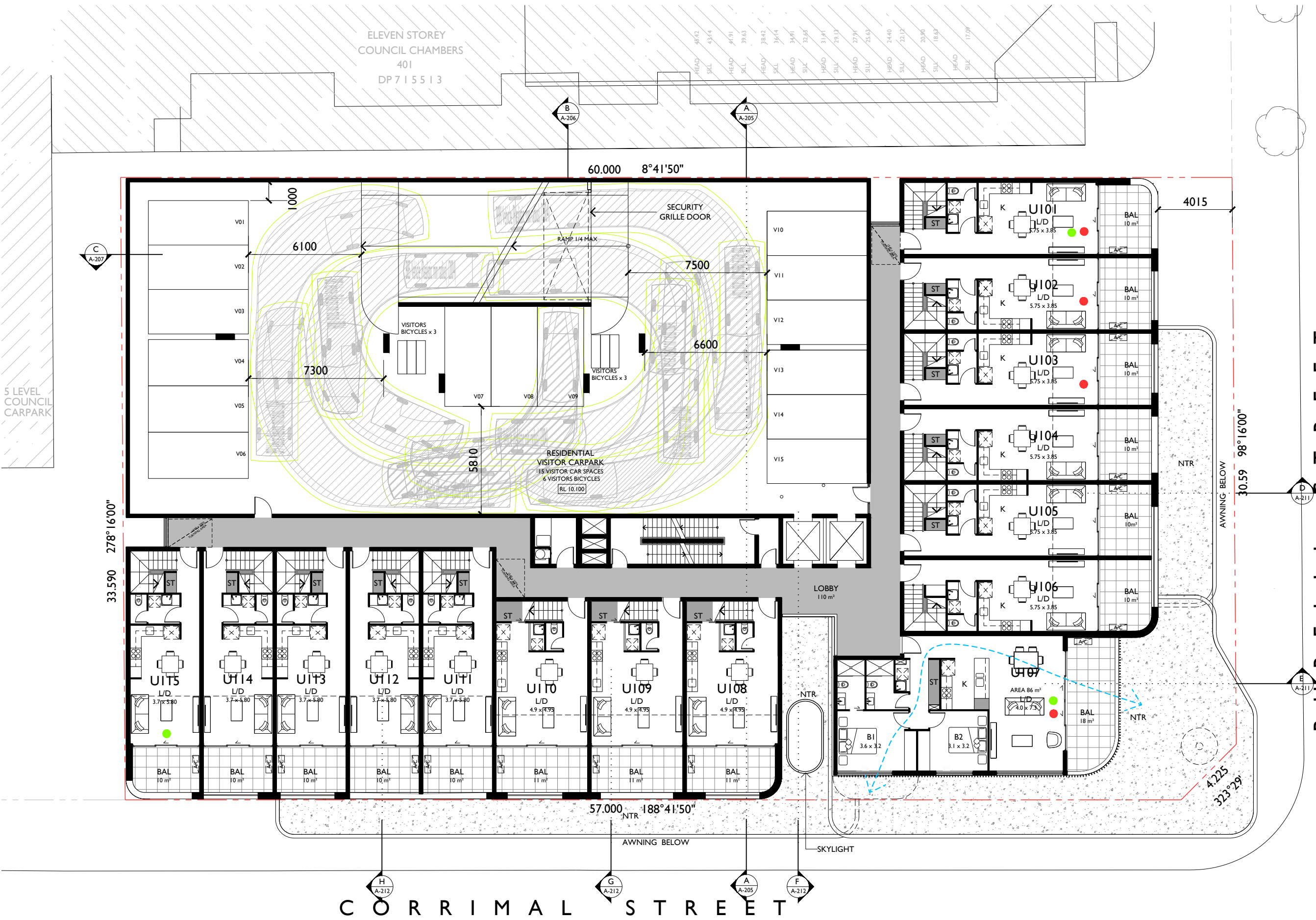
Drawn
LGD, HR

Project No.
2021-32

Drawing No.
A-103

Issue
E

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D	08-04-2024	ADDITIONAL INFORMATION FOR DA

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LEGEND

- SUNLIGHT ACCESS
- CROSS VENTILATION

STORAGE INSIDE UNITS	
	VOLUME
U101	3m³
U102	3m³
U103	3m³
U104	3m³
U105	3m³
U106	3m³
U107	4m³
U108	3m³
U109	3m³
U110	3m³
U111	3m³
U112	3m³
U113	3m³
U114	3m³
U115	3m³



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At
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WOLLONGONG

For
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Title
DEVELOPMENT APPLICATION
LEVEL 01 FLOOR PLAN

Scale
1:100 @ A1
1:200 @ A3

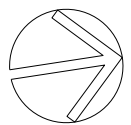
Drawn
LGD, HR

Project No.
2021-32

Drawing No.
A-104

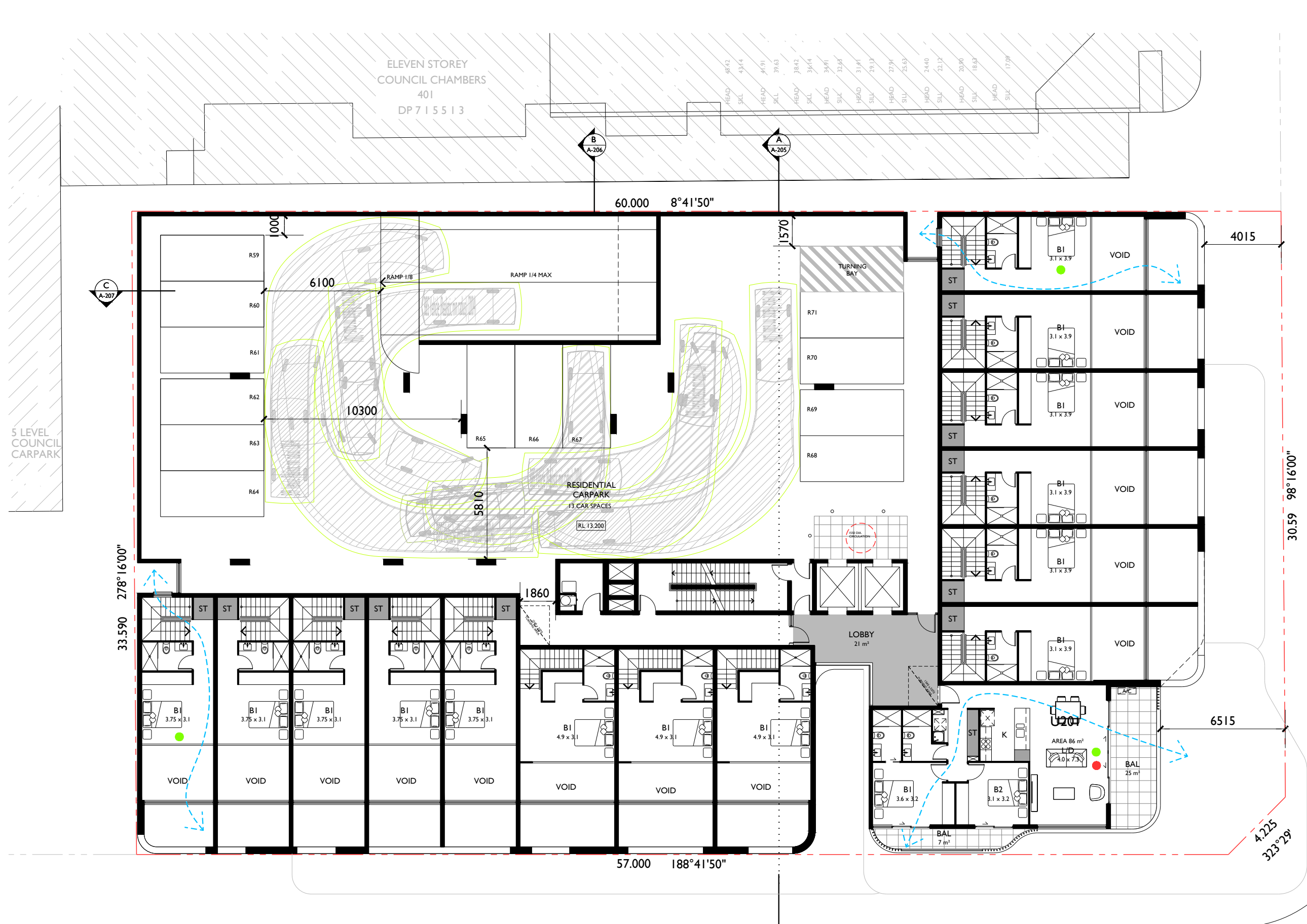
Issue
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LEVEL 01 FLOOR PLAN

RL 10.100



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LEGEND

SUNLIGHT ACCESS

CROSS VENTILATION

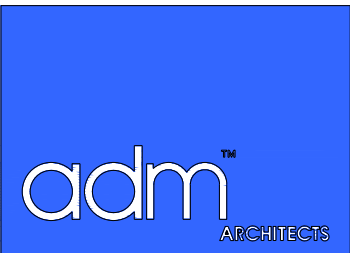
STORAGE INSIDE UNITS

VOLUME

U201 4m³

Note:

PROVISION FOR 13 RESIDENTIAL EV CHARGING POINT (1 PER UNIT)



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Title
DEVELOPMENT APPLICATION
LEVEL 02 FLOOR PLAN

Scale
1:100 @ A1
1:200 @ A3

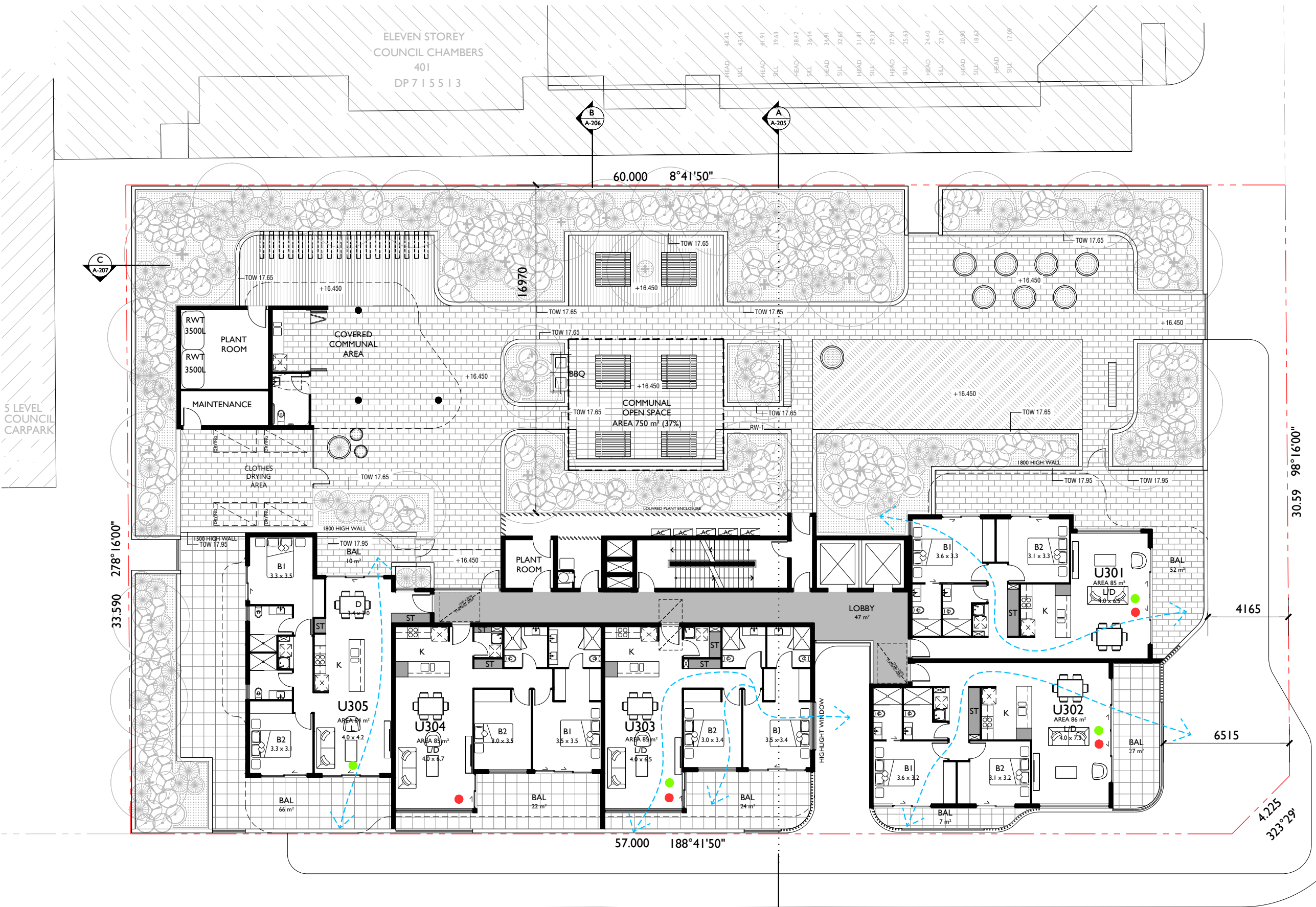
Drawn
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Project No.
2021-32

Drawing No.
A-105

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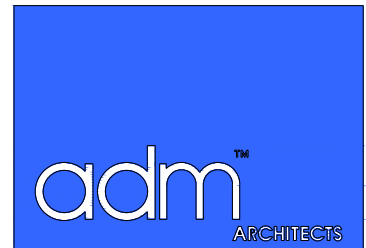
LEGEND

SUNLIGHT ACCESS

CROSS VENTILATION

STORAGE INSIDE UNITS

UNIT	VOLUME
U301	4m³
U302	4m³
U303	4m³
U304	4m³
U305	4m³



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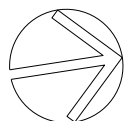
Title
DEVELOPMENT APPLICATION
LEVEL 03 FLOOR PLAN

Scale
1:100 @ A1
1:200 @ A3
Date
APRIL 2024

Drawn
LGD, HR
Checked
ADM

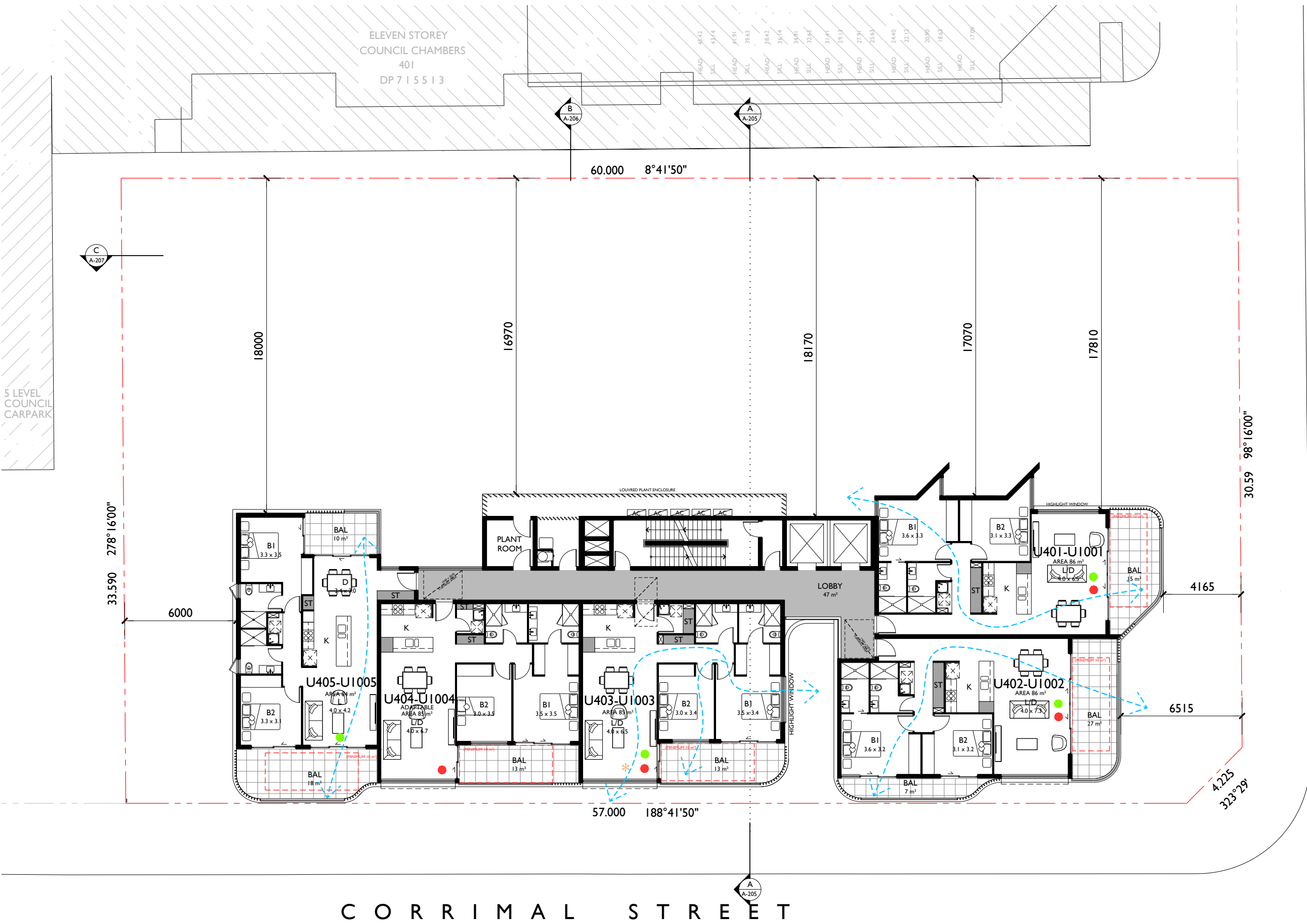
Project No.
2021-32
Drawing No.
A-106
Issue
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LEVEL 03 FLOOR PLAN

RL 16.450



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LEGEND

- SUNLIGHT ACCESS
- CROSS VENTILATION
- LIVABLE HOUSING

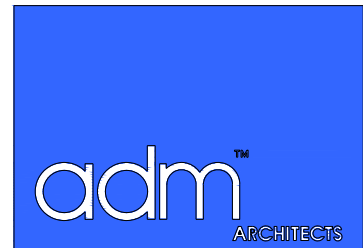
NOTE

UNITS 403, 503, 603, 704, 803, 903, 1003 MEET LIVABLE HOUSING GUIDELINES SILVER LEVEL.

REFER TO PAGES 13-14 OF ACCESS REPORT FOR DETAILS ON COMPLIANCE.

STORAGE INSIDE UNITS

UNIT	VOLUME
U401-1001	4m³
U402-1002	4m³
U403-1003	4m³
U404-1004	4m³
U405-1005	4m³



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At
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For
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Title
DEVELOPMENT APPLICATION
LEVEL 04 -10 FLOOR PLAN

Scale
1:100 @ A1
1:200 @ A3

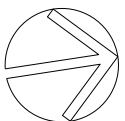
Drawn
LGD, HR

Project No.
2021-32

Drawing No.
A-107

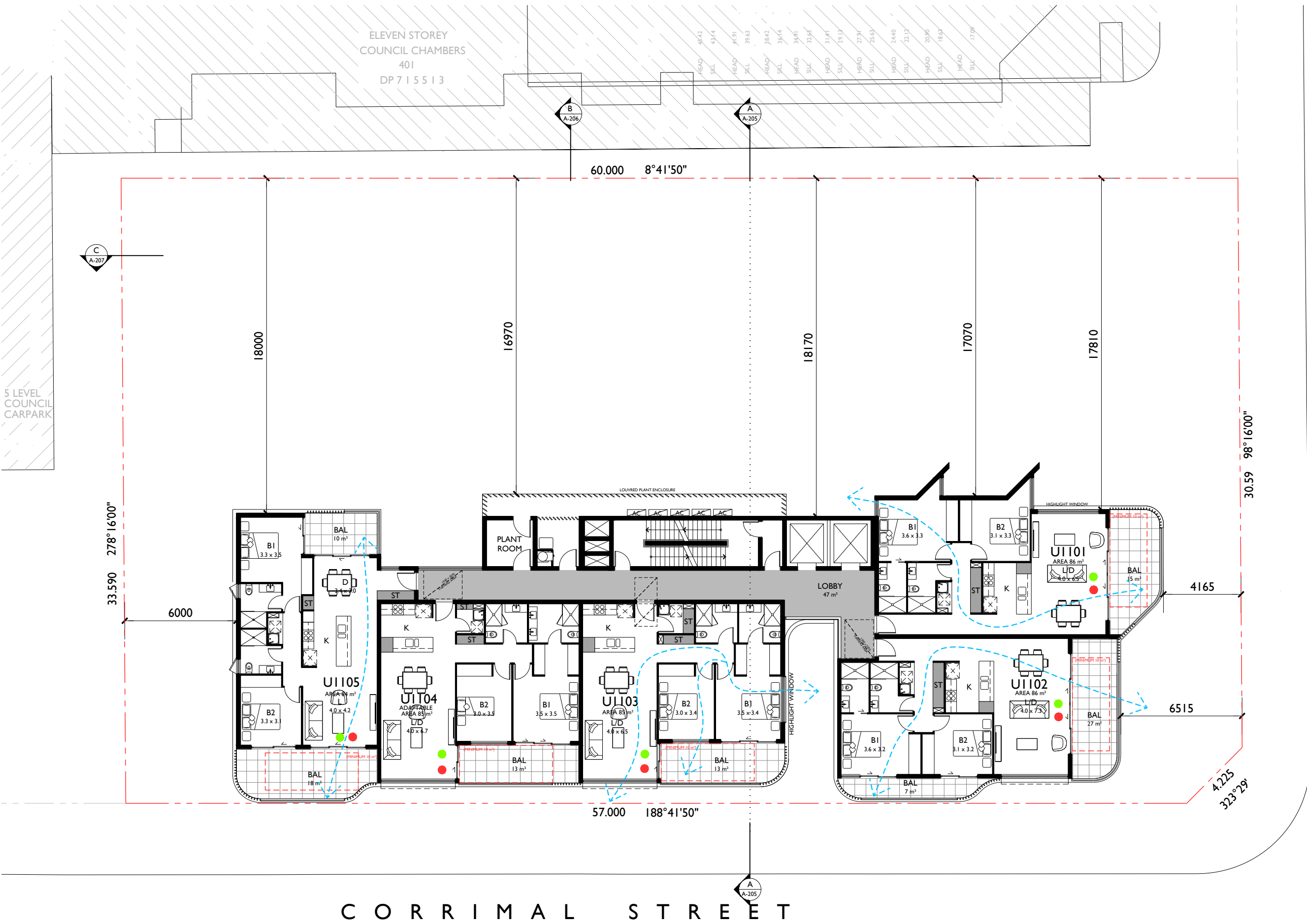
Issue
D

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LEVEL 04-10 FLOOR PLAN

LEVEL 4	RL 19.55	LEVEL 8	RL 31.95
LEVEL 5	RL 22.65	LEVEL 9	RL 35.05
LEVEL 6	RL 25.75	LEVEL 10	RL 38.15
LEVEL 7	RL 28.85		



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D	08-04-2024	ADDITIONAL INFORMATION FOR DA

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LEGEND

- SUNLIGHT ACCESS
- CROSS VENTILATION

STORAGE INSIDE UNITS

UNIT	VOLUME
U1101	4m³
U1102	4m³
U1103	4m³
U1104	4m³
U1105	4m³



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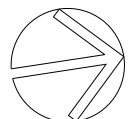
Title
DEVELOPMENT APPLICATION
LEVEL 11 FLOOR PLAN

Scale
1:100 @ A1
1:200 @ A3
Date
APRIL 2024

Drawn
LGD, HR
Checked
ADM

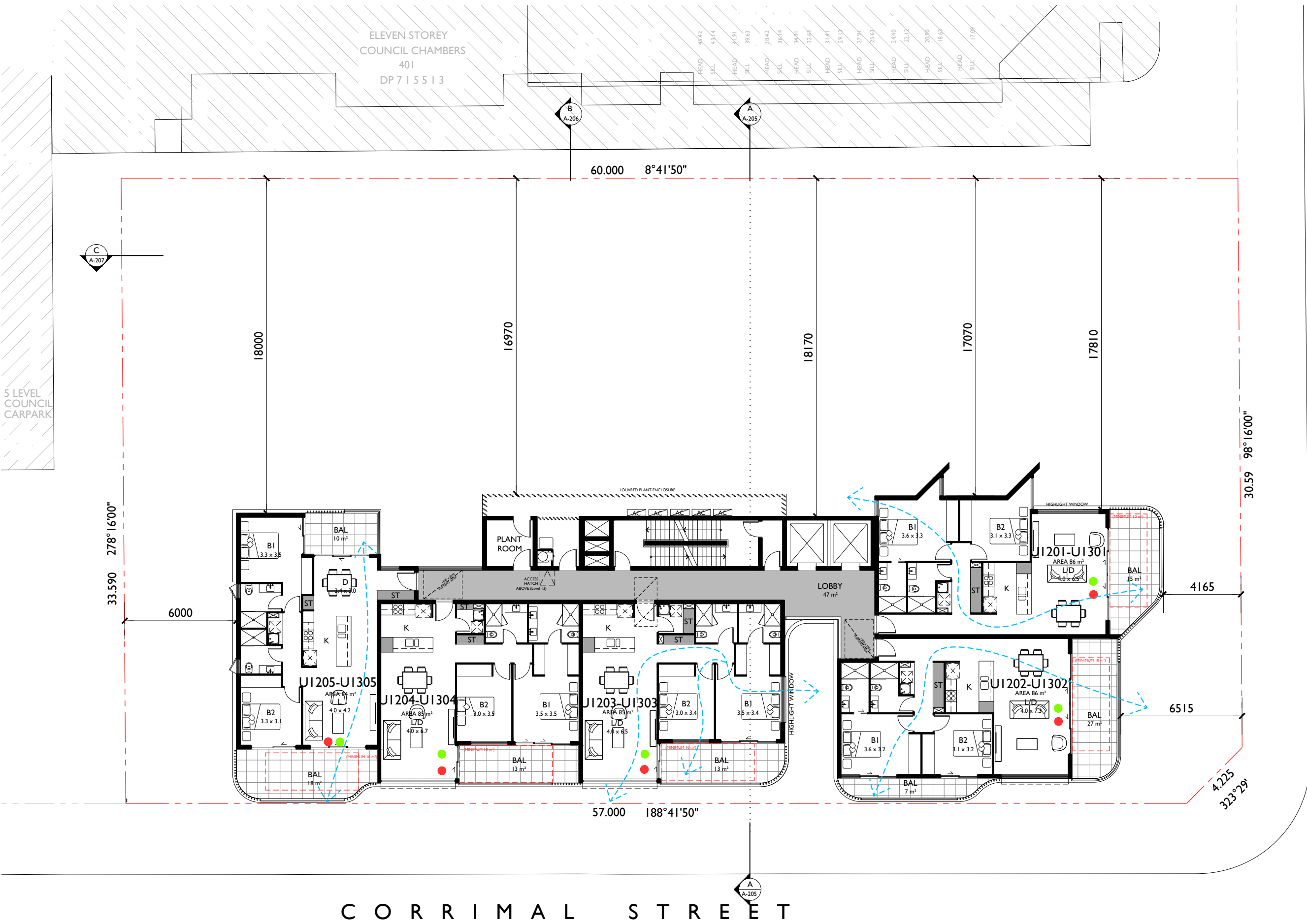
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LEVEL 11 FLOOR PLAN

RL 41.25



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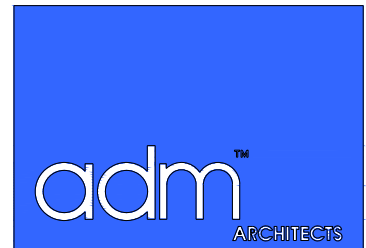
ISSUE	DATE	DESCRIPTION
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D	08-04-2024	ADDITIONAL INFORMATION FOR DA

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LEGEND

- SUNLIGHT ACCESS
- CROSS VENTILATION

STORAGE INSIDE UNITS	
UNIT	VOLUME
UI201-1301	4m³
UI202-1302	4m³
UI203-1303	4m³
UI204-1304	4m³
UI205-1305	4m³



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Title
DEVELOPMENT APPLICATION
LEVEL 12 - 13 FLOOR PLAN

Scale
1:100 @ A1
1:200 @ A3

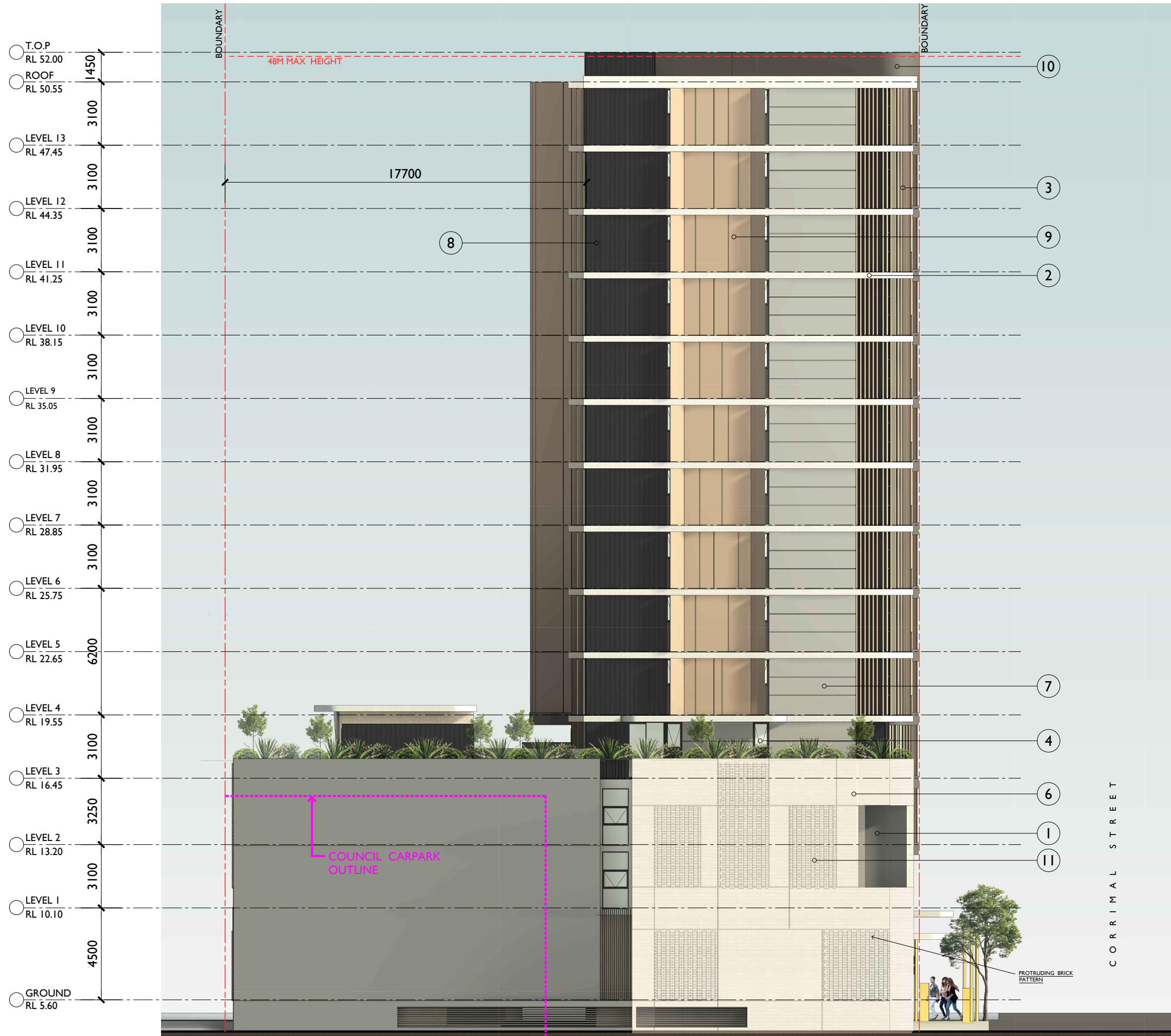
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SOUTH ELEVATION

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WOLLONGONG

For
BURELLI INVESTMENTS PTY LTD

Title DEVELOPMENT APPLICATION SOUTH ELEVATION		
Scale 1:125 @ A1 1:250 @ A3	Date OCTOBER 2023	
Drawn	Checked ADM	
LGD, HR	Project No. 2021-32	
	Drawing No. A-203	Issue D

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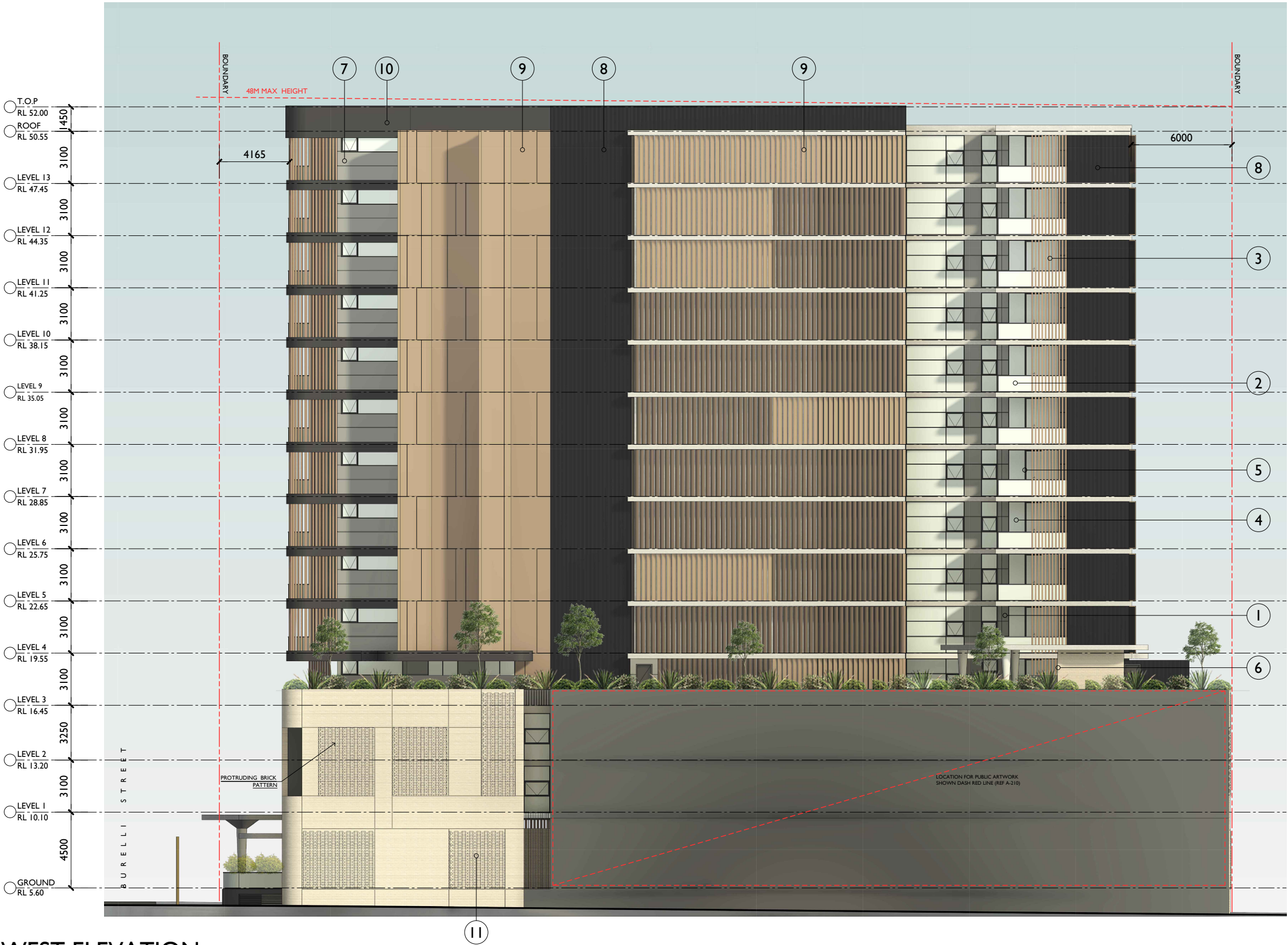
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WOLLONGONG

For
BURELLI INVESTMENTS PTY LTD

Title DEVELOPMENT APPLICATION WEST ELEVATION		
Scale 1:125 @ A1 1:250 @ A3	Date OCTOBER 2023	
Drawn LGD, HR	Checked ADM	
Project No. 2021-32	Drawing No. A-204	Issue D

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WEST ELEVATION

1 DULUX MONUMENT WALLING, WALL RENDER

2 DULUX LEXICON WHITE CONCRETE EDGES, WALLING, WALL RENDER

3 TIMBER LOOK ALUMINIUM LIGHT OAK SCREENING

4 TINTED GLAZING GLAZING ELEMENTS AND BALUSTRADES

5 POWDERCOAT MONUMENT DOOR AND WINDOW FRAMES, HANDRAILS, AND SCREENING

6 AUSTRAL CHILLINGHAM BRICK WALLING

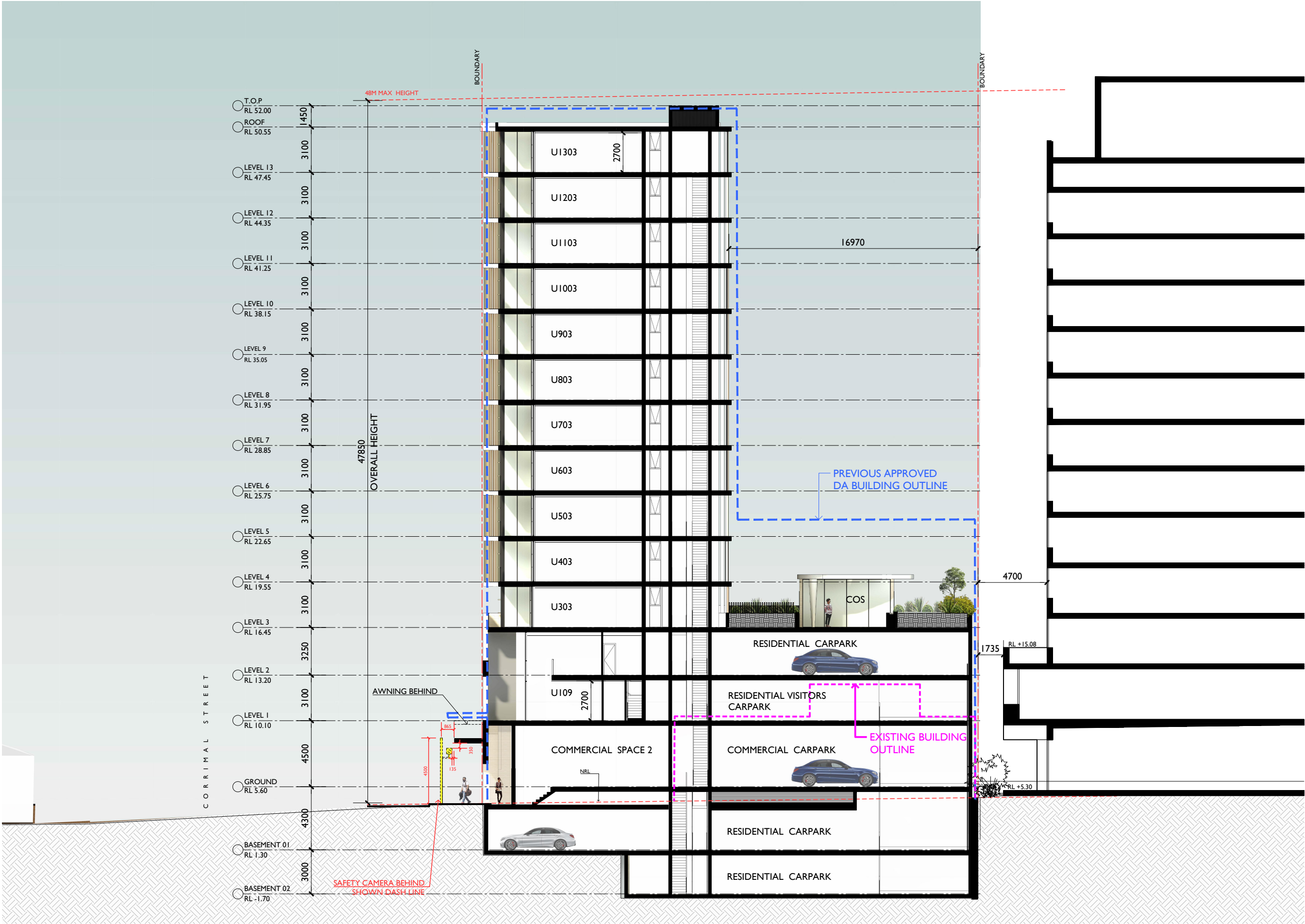
7 ALUMINUM SHEET CLADDING WITH JOINTS (NON COMBUSTIBLE) WINDSPRAY

8 ALUMINUM SHEET CLADDING WITH JOINTS (NON COMBUSTIBLE) MONUMENT

9 DURATEC ETERNITY BRONZE PEARL SATIN FEATURE METALLIC PANELS, LOUVRES AND SUNSHADES

10 ALUMINUM SHEET (NON COMBUSTIBLE) MONUMENT

11 AUSTRAL CHILLINGHAM BRICK PROTRUDING BRICK PATTERN



SECTION A-A

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For
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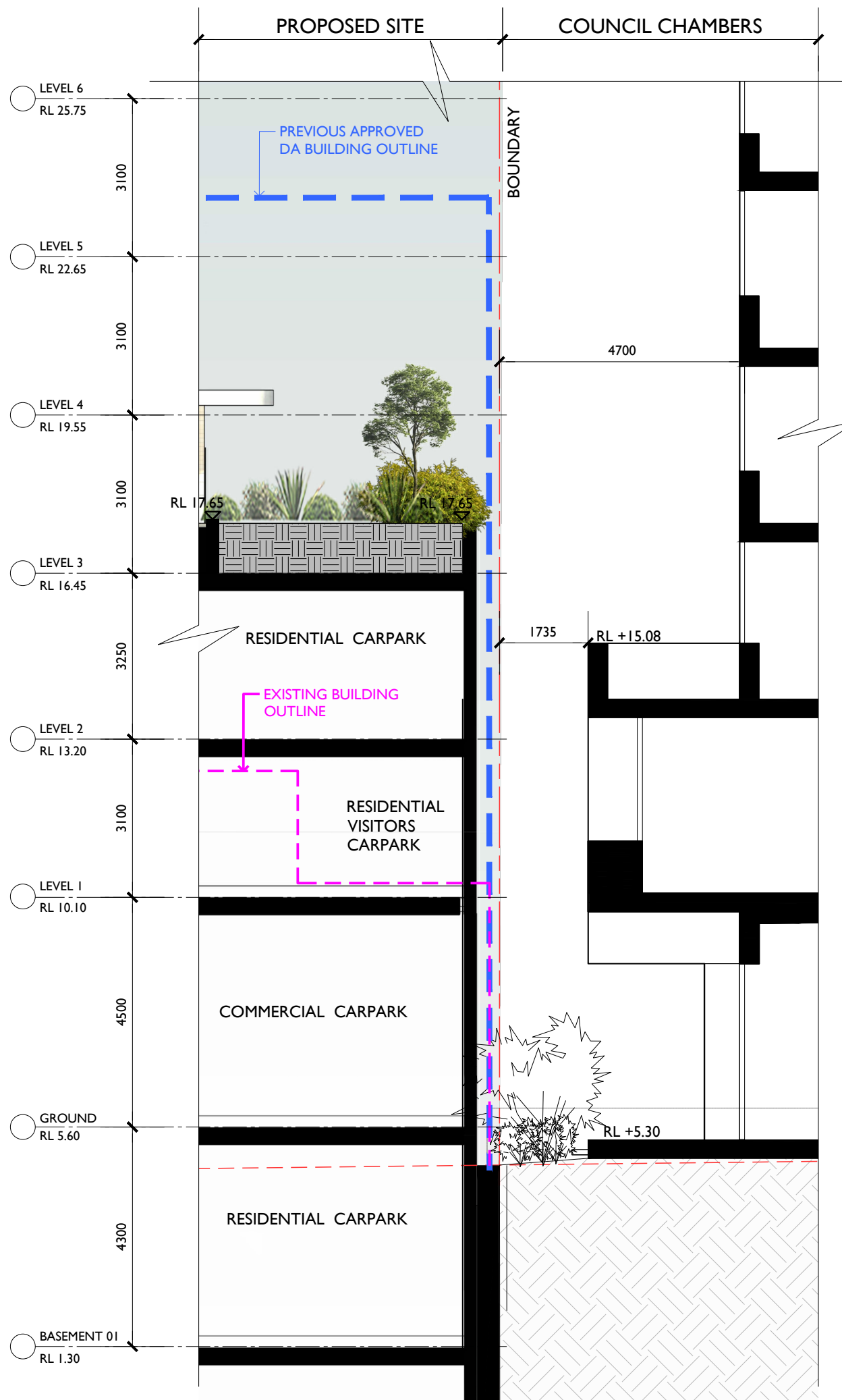
Title
DEVELOPMENT APPLICATION
SECTION A-A

Scale 1:125 @ A1 1:250 @ A3	Date OCTOBER 2023
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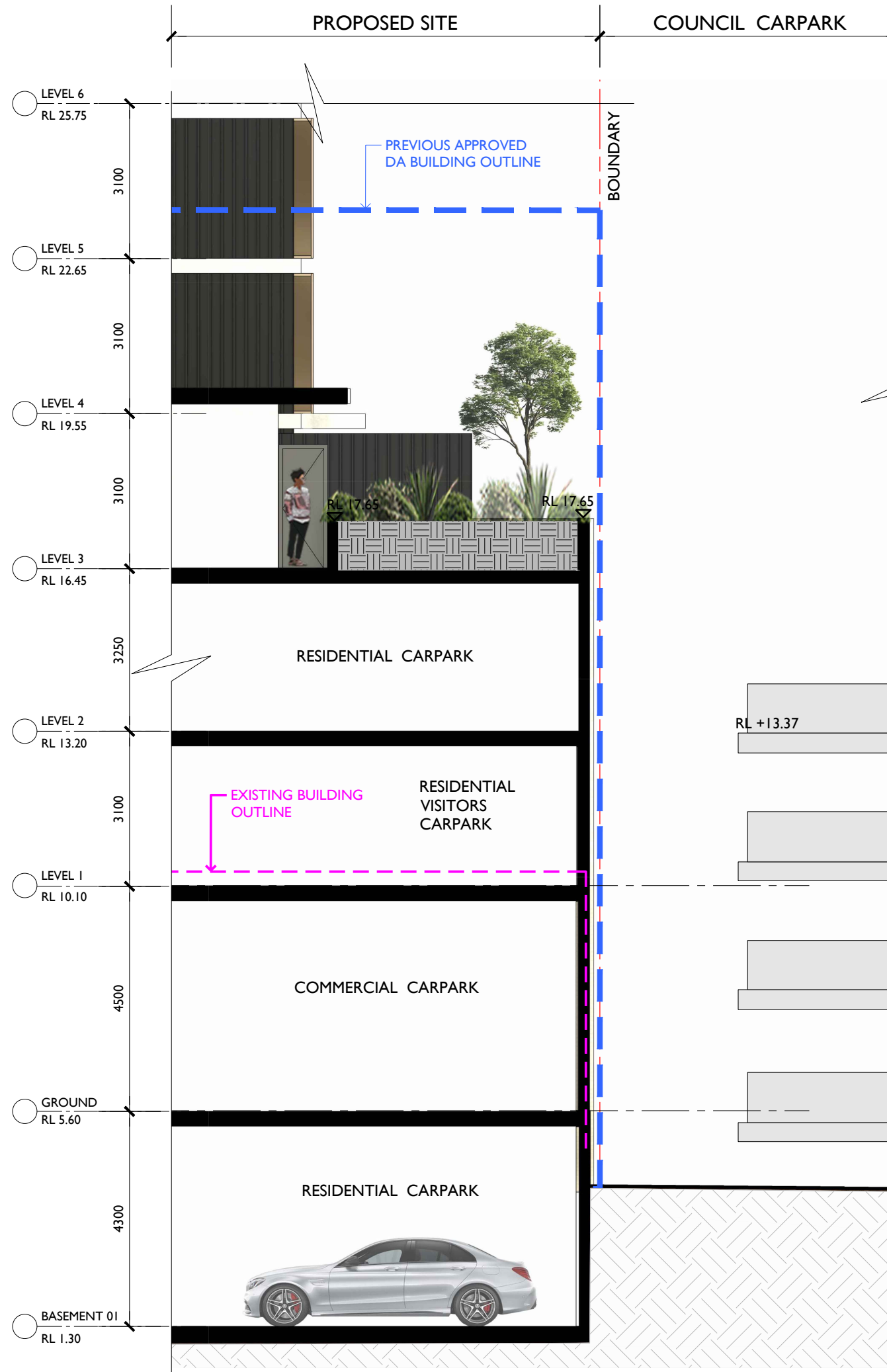
Drawn LGD, HR	Checked ADM
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Project No. 2021-32	Drawing No. A-205	Issue D
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INTERFACE PART SECTION BB
(WEST BOUNDARY)

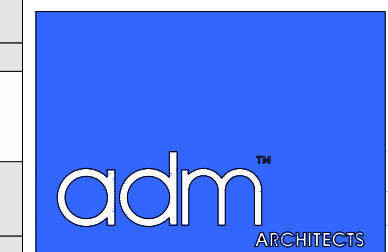


INTERFACE PART SECTION CC
(SOUTH BOUNDARY)

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ISSUE	DATE	DESCRIPTION
A	31-01-2023	ISSUED FOR DA
B	27-10-2023	ADDITIONAL INFORMATION FOR DA

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Project
PROPOSED MIXED USE BUILDING
COMPRISING OF RESIDENTIAL APARTMENTS
ABOVE COMMERCIAL PREMISES OR
SHOPS AND CARPARKING

At
37-39 BURELLI STREET
WOLLONGONG

For
BURELLI INVESTMENTS PTY LTD

Title
DEVELOPMENT APPLICATION
INTERFACE SECTIONS

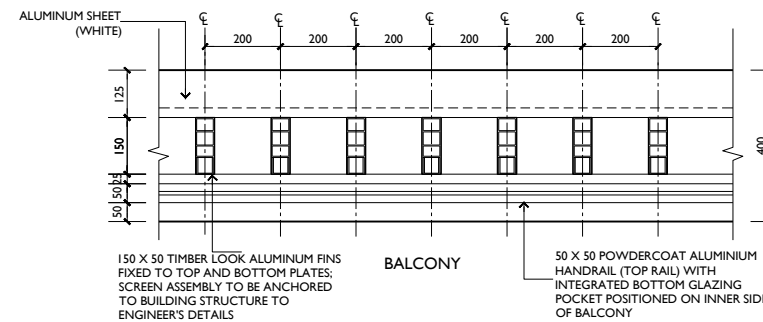
Scale 1:50 @ A1 1:100 @ A3	Date OCTOBER 2023
Drawn LGD, HR	Checked ADM

Project No. 2021-32	Drawing No. A-206	Issue B
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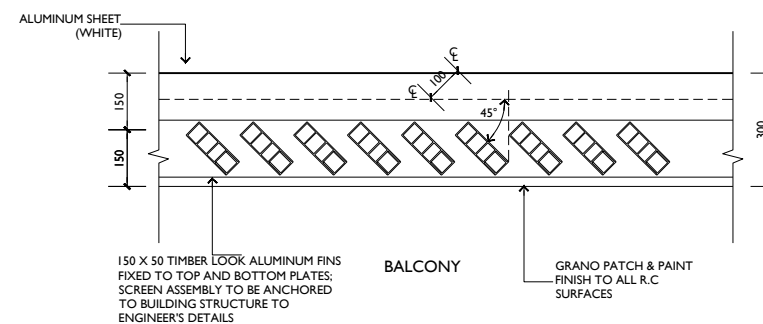
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FACADE DETAIL



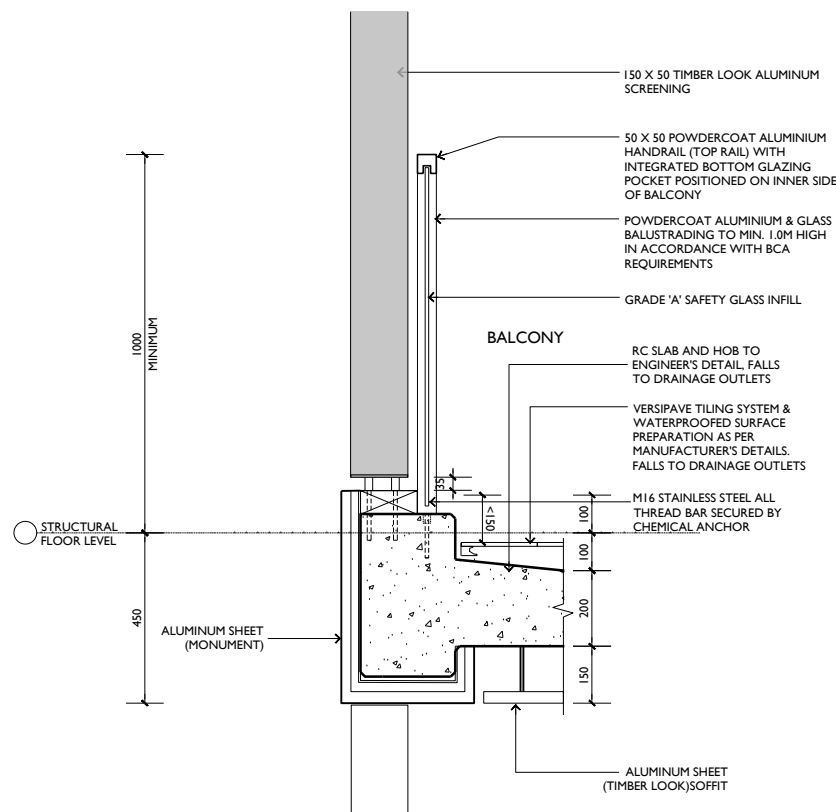
01 TYPICAL GLAZED BALUSTRADE & SCREEN PLAN
SCALE 1:10 @ A1 (NO PRIVACY ISSUE)



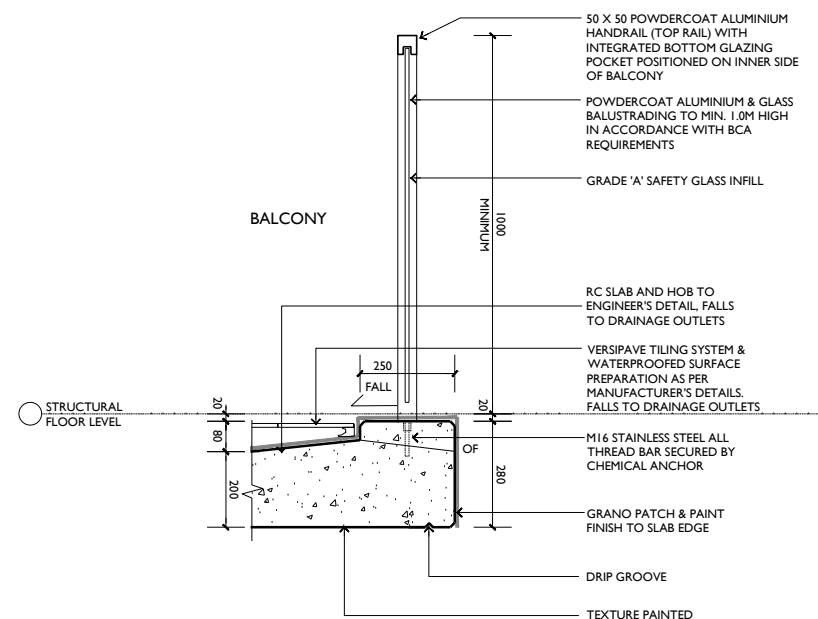
02 TYPICAL SOLID BALUSTRADE & SCREEN PLAN
SCALE 1:10 @ A1 (FOR PRIVACY)



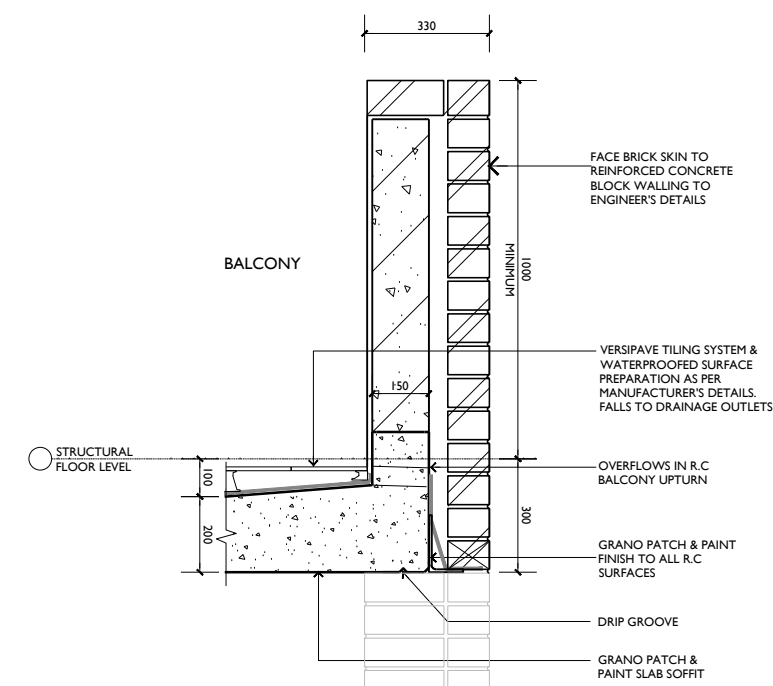
TYPICAL TIMBER LOOK ALUMINUM SCREENING



03 TYPICAL GLAZED BALUSTRADE & SCREEN SECTION
SCALE 1:10 @ A1



04 TYPICAL GLAZED BALUSTRADE
SCALE 1:10 @ A1

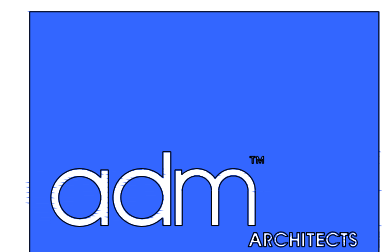


05 TYPICAL SOLID BALUSTRADE
SCALE 1:10 @ A1

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For
BURELLI INVESTMENTS PTY LTD

Title
DEVELOPMENT APPLICATION
FACADE DESIGN SECTION

Scale
AS NOTED

Date
OCTOBER 2023

Drawn
LGD, HR

Checked
ADM

Project No.
2021-32

Drawing No.
A-208

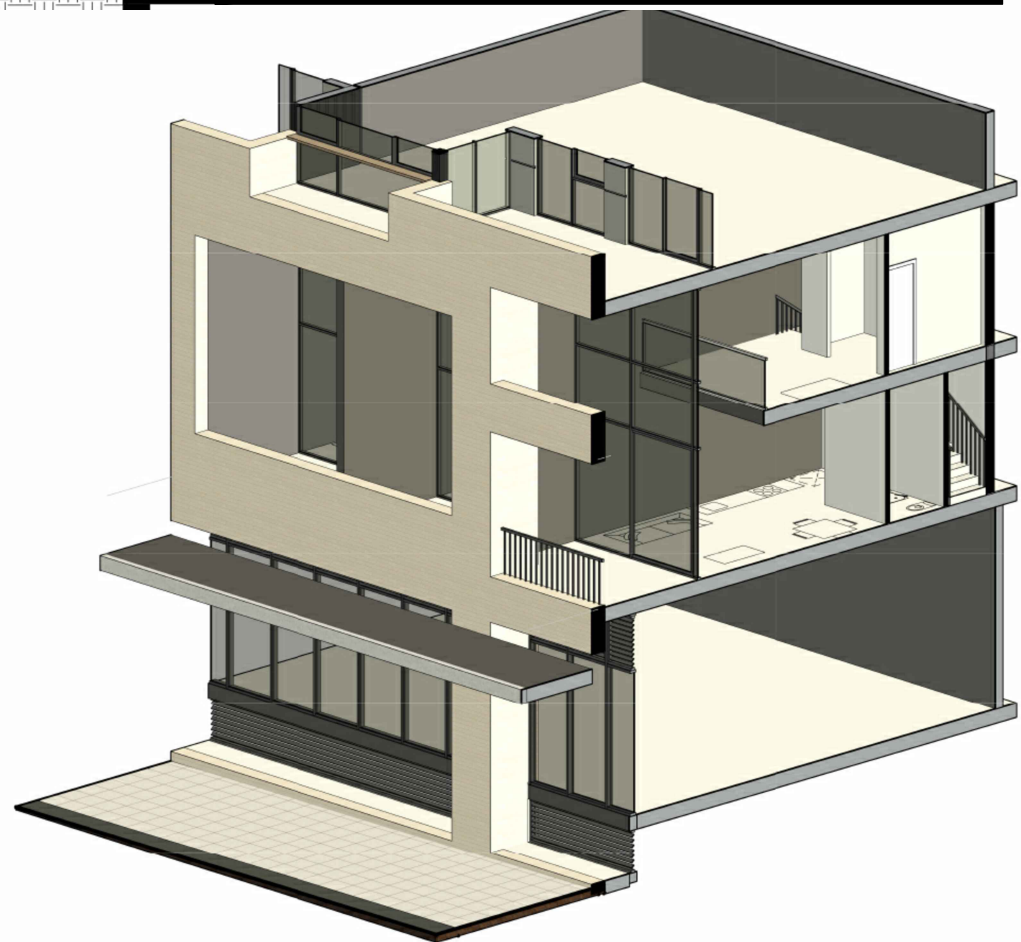
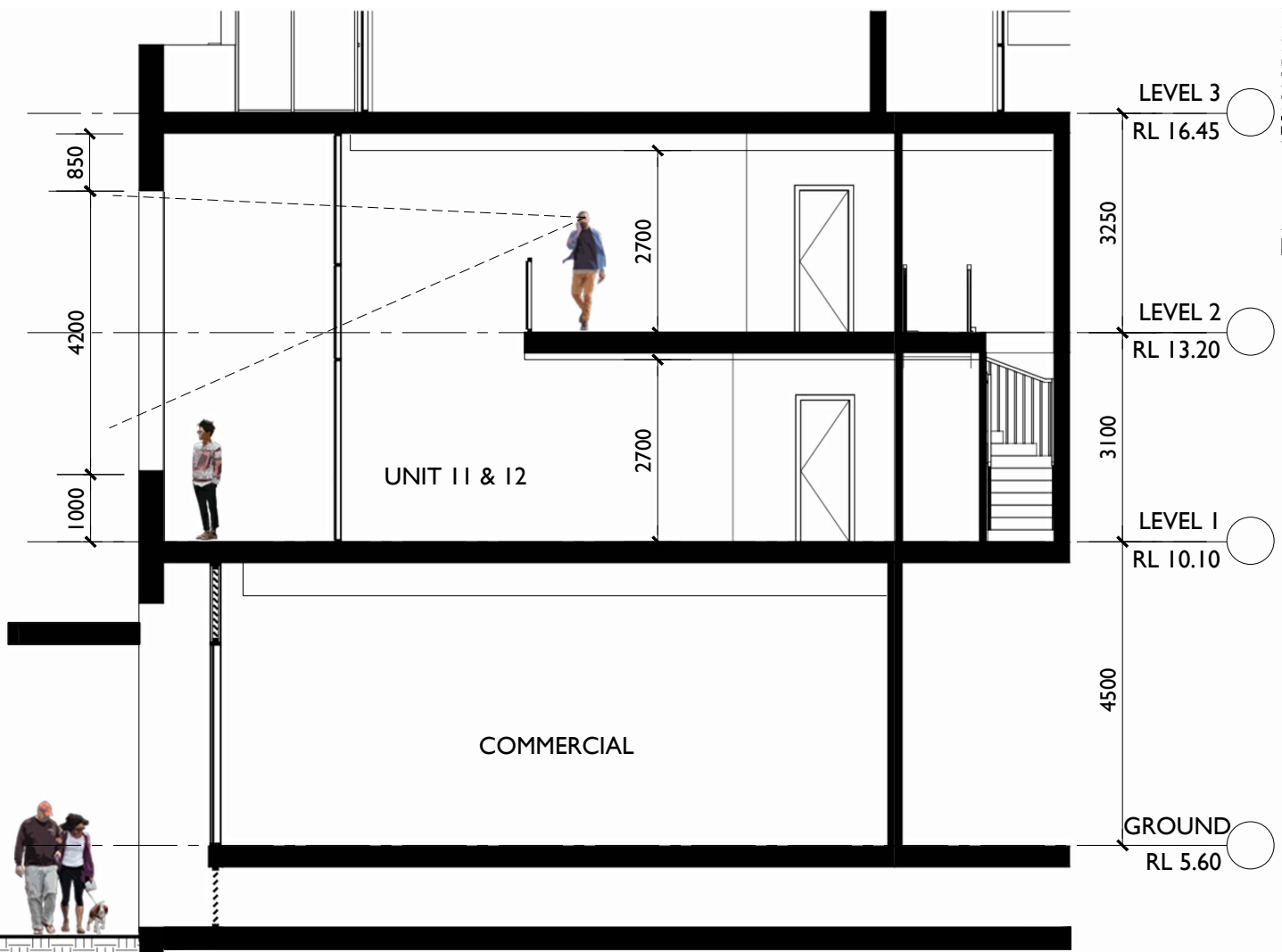
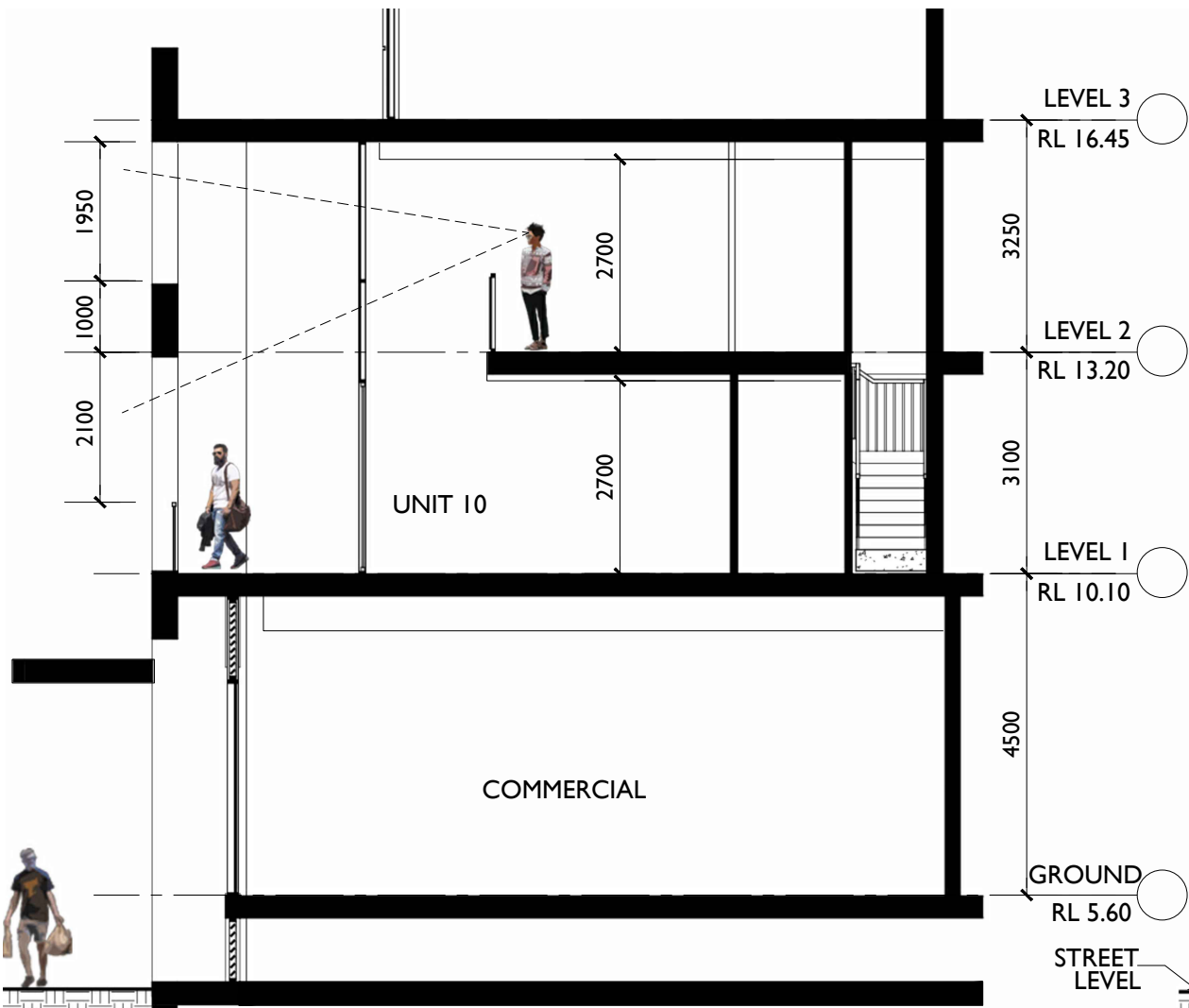
Issue
B

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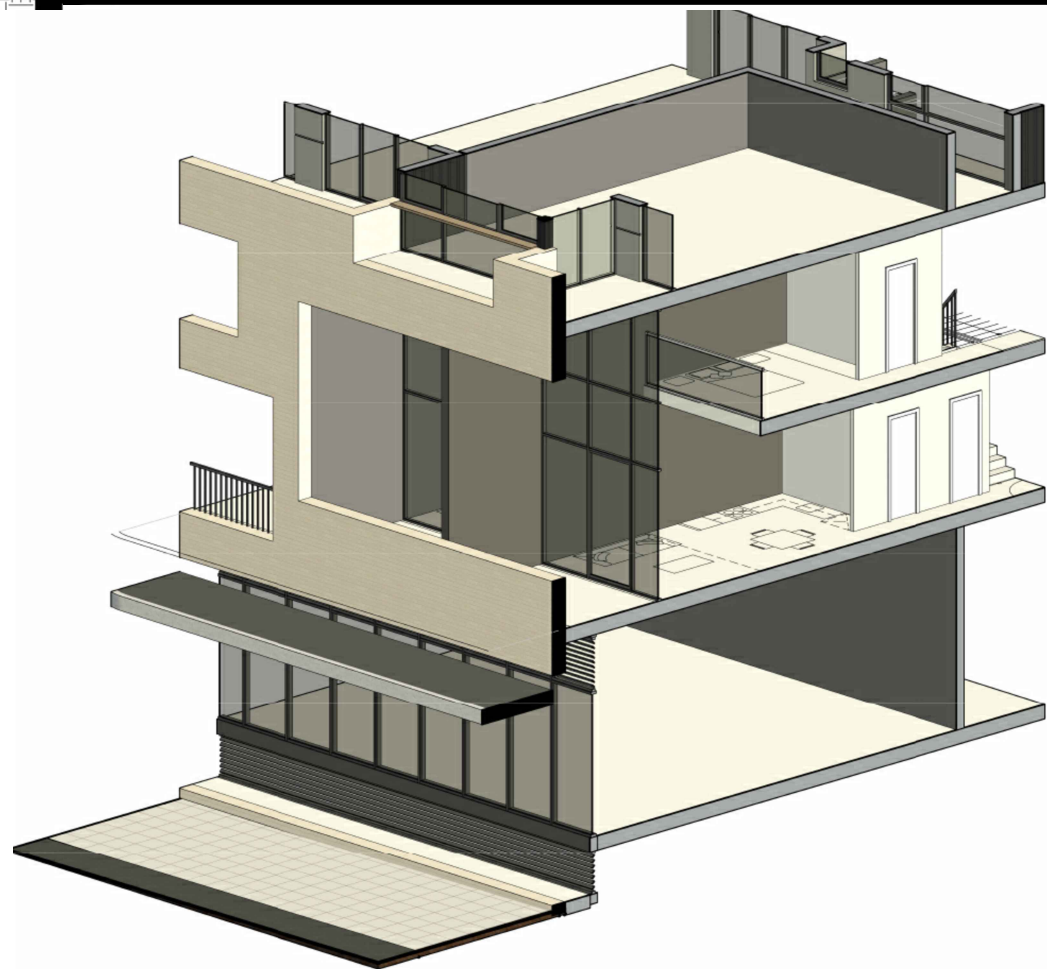
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A	26-05-2023	ISSUED FOR DA
B	27-10-2023	ADDITIONAL INFORMATION FOR DA

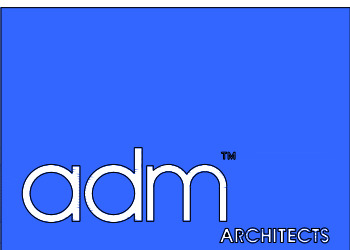
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PART SECTION UNIT-10



PART SECTION UNIT-11 & 12



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At
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WOLLONGONG

For
BURELLI INVESTMENTS PTY LTD

Title
DEVELOPMENT APPLICATION
PART SECTIONS 01

Scale
1:50 @ A1
1:100 @ A3

Date
OCTOBER 2023

Drawn
LGD, HR

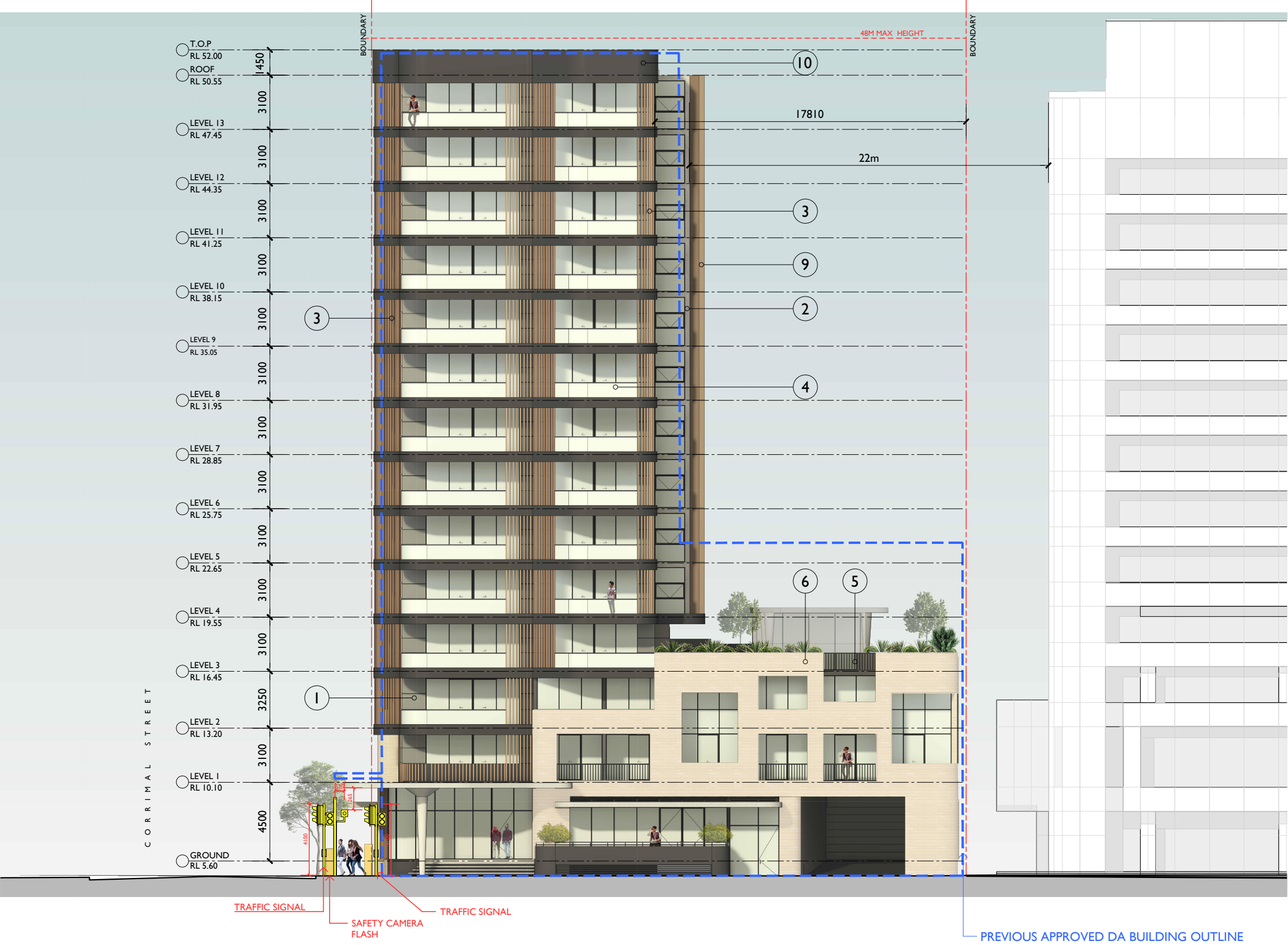
Checked
ADM

Project No.
2021-32

Drawing No.
A-209

Issue
B

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NORTH ELEVATION
BURELLI STREET ASPECT

1

DULUX
MONUMENT
WALLING, WALL RENDER

2

DULUX
LEXICON WHITE
CONCRETE EDGES,
WALLING, WALL RENDER

3

TIMBER LOOK
ALUMINIUM
LIGHT OAK
SCREENING

4

TINTED GLAZING
GLAZING ELEMENTS AND
BALUSTRADES

5

POWDERCOAT
MONUMENT
DOOR AND WINDOW
FRAMES, HANDRAILS, AND
SCREENING

6

AUSTRAL
CHILLINGHAM BRICK
WALLING

7

ALUMINUM SHEET
CLADDING WITH JOINTS
(NON COMBUSTIBLE)
WINDSPRAY

8

ALUMINUM SHEET
CLADDING WITH JOINTS
(NON COMBUSTIBLE)
MONUMENT

9

DURATEC
ETERNITY BRONZE
PEARL SATIN
FEATURE METALLIC PANELS, LOUVRES AND
SUNSHADES

10

ALUMINUM SHEET
(NON COMBUSTIBLE)
MONUMENT

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ISSUE	DATE	DESCRIPTION
A	02-06-2022	ISSUED FOR DA
B	31-01-2023	REISSUED FOR DA
C	26-05-2023	REISSUED FOR DA
D	03-07-2023	REISSUED FOR DA
E	27-10-2023	ADDITIONAL INFORMATION FOR DA

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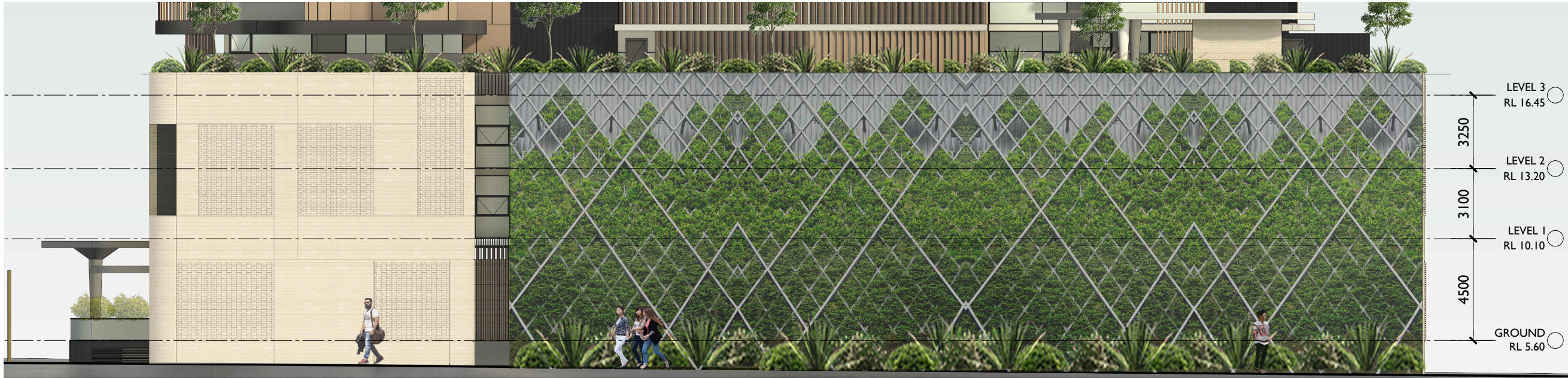
Project
PROPOSED MIXED USE BUILDING
COMPRISING OF RESIDENTIAL APARTMENTS
ABOVE COMMERCIAL PREMISES OR
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At
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WOLLONGONG

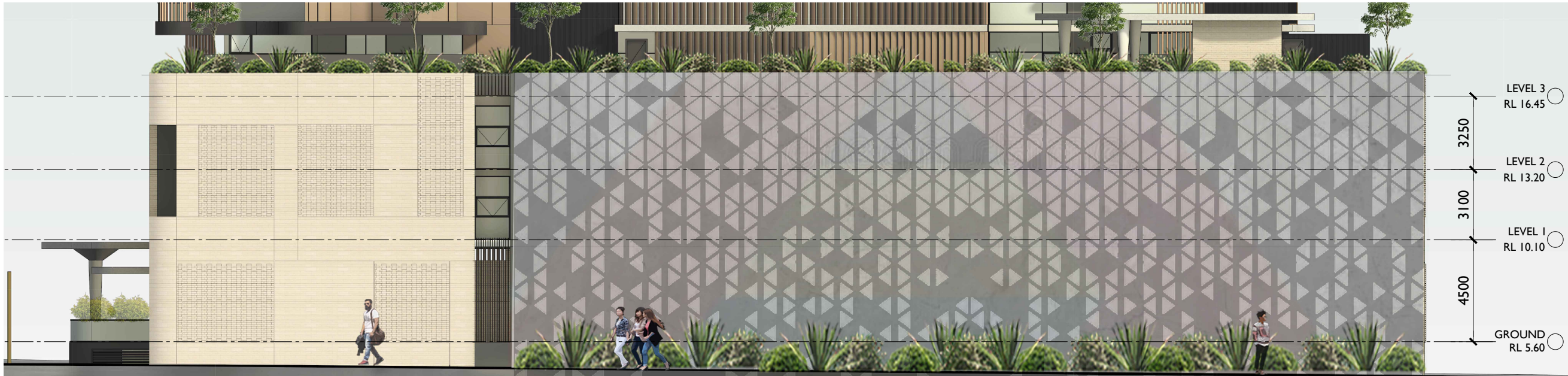
For
BURELLI INVESTMENTS PTY LTD

Title		
DEVELOPMENT APPLICATION NORTH ELEVATION		
Scale 1:100 @ A1 1:200 @ A3	Date OCTOBER 2023	
Drawn	Checked ADM	
LGD, HR		
Project No. 2021-32	Drawing No. A-201	Issue E

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OPTION 01 - GREEN WALL



OPTION 02 - METAL ART WALL



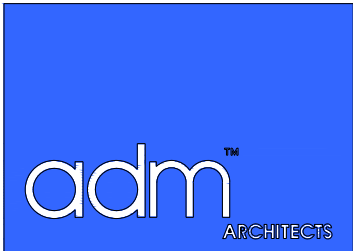
OPTION 03 - STREET ART WALL

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ISSUE	DATE	DESCRIPTION
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NOTE - ARTWORKS INDICATIVE ONLY



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ABOVE COMMERCIAL PREMISES OR
SHOPS AND CARPARKING

At
37-39 BURELLI STREET
WOLLONGONG

For
BURELLI INVESTMENTS PTY LTD

Title
DEVELOPMENT APPLICATION
WEST BLANK WALL OPTIONS

Scale 1:100 @ A1 1:200 @ A3	Date OCTOBER 2023
Drawn LGD, HR	Checked ADM

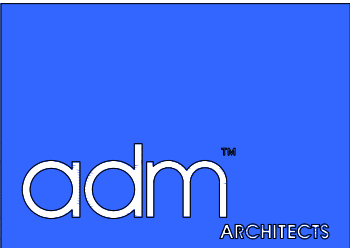
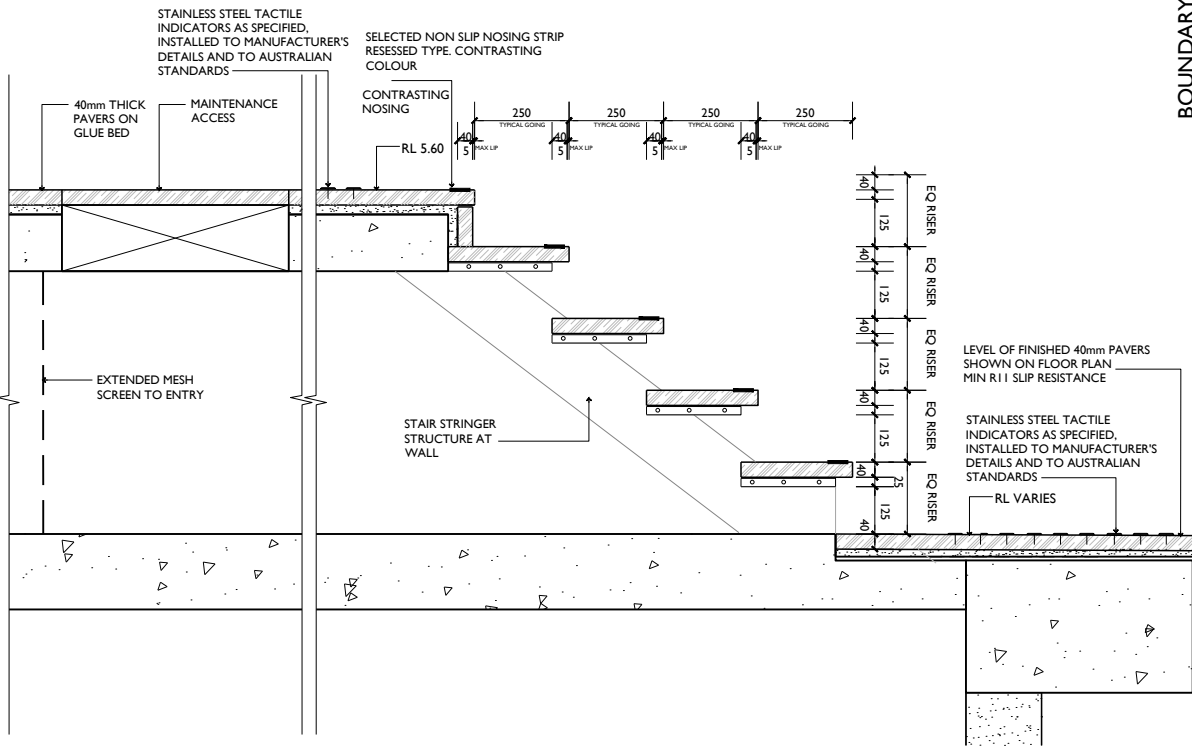
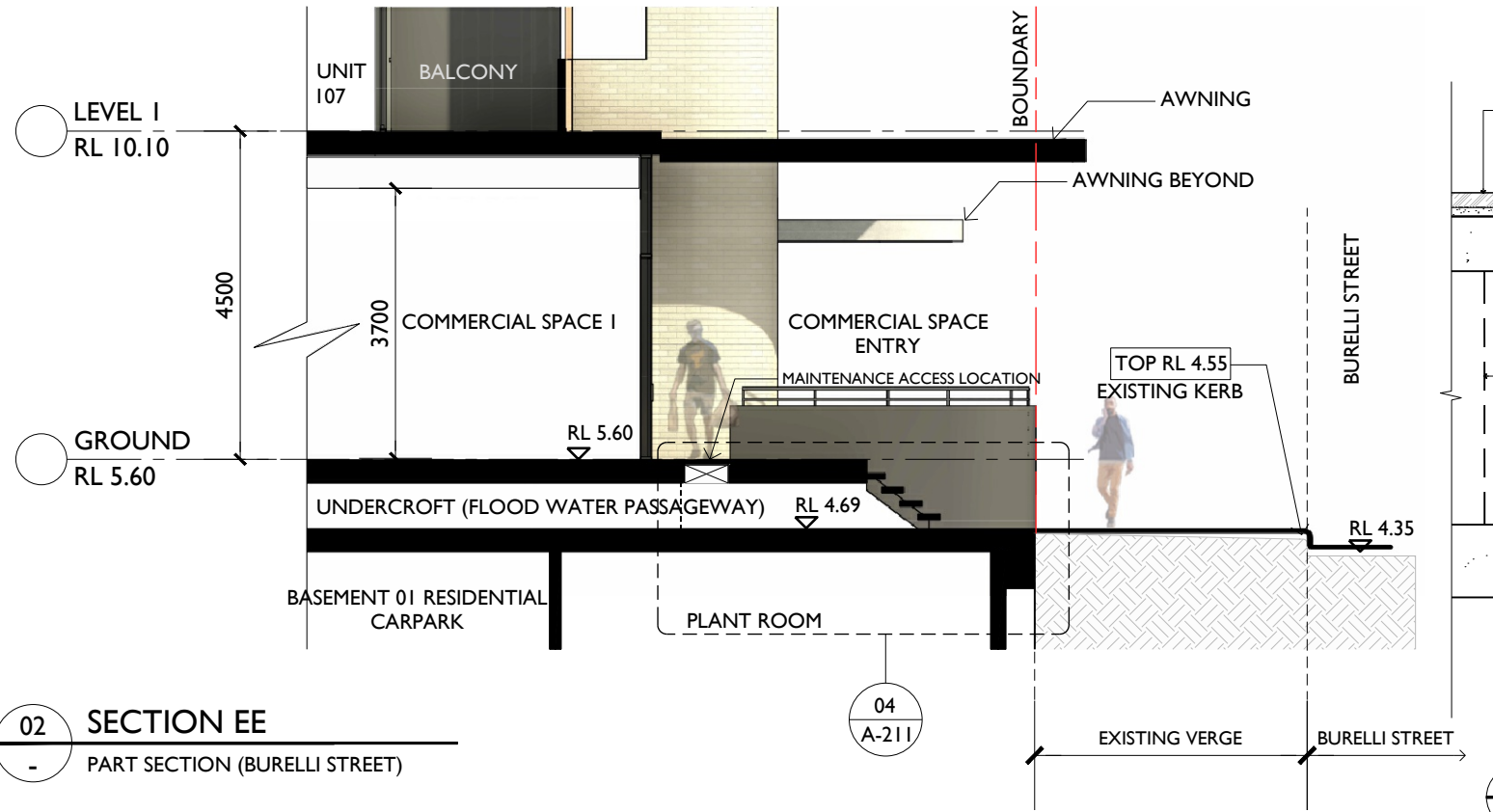
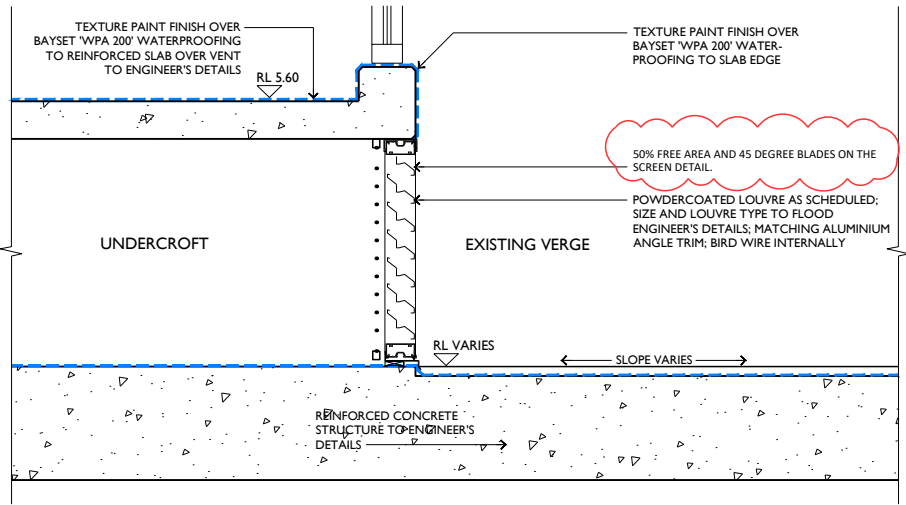
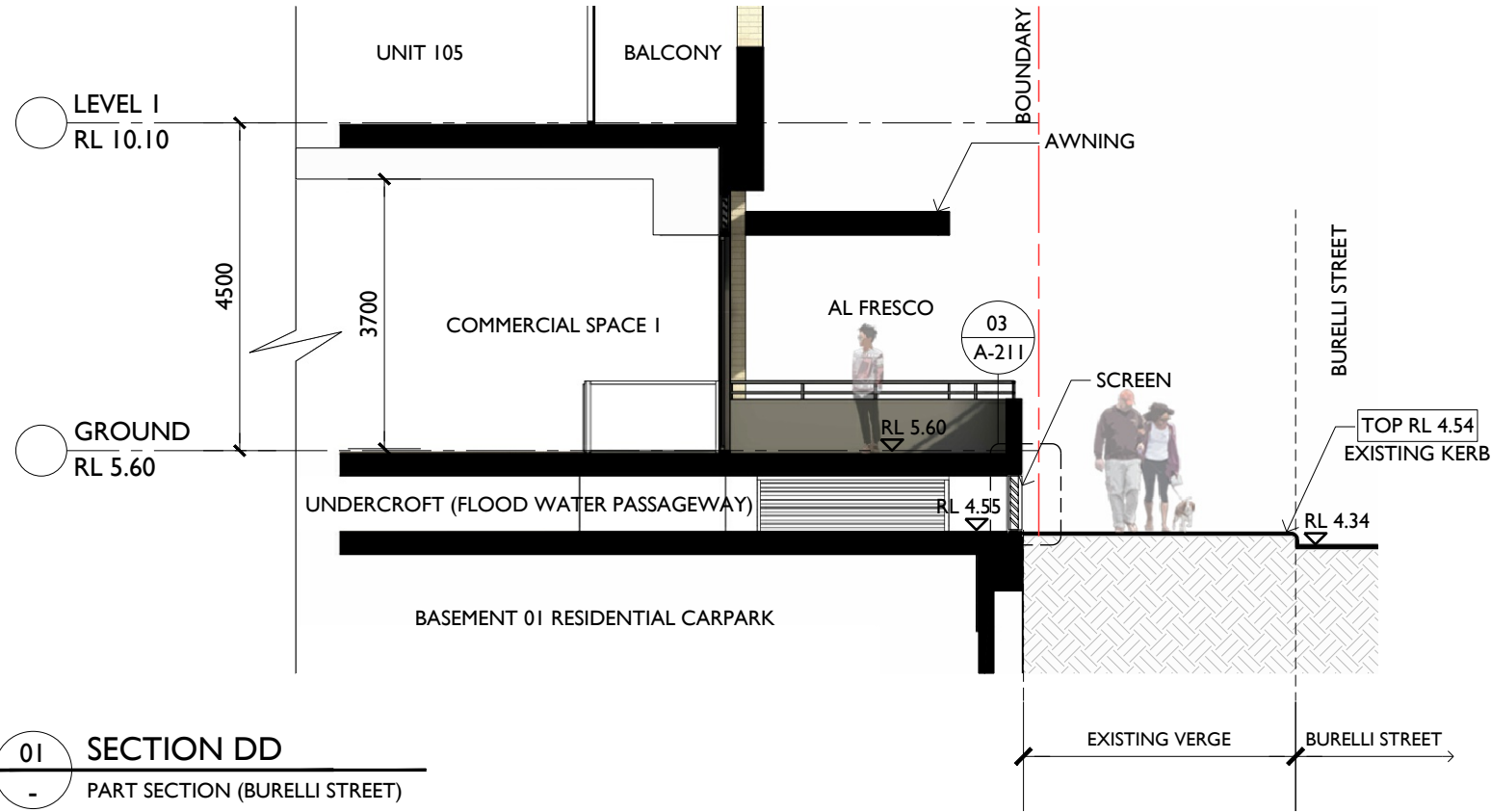
Project No. 2021-32	Drawing No. A-210	Issue B
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ISSUE	DATE	DESCRIPTION
A	27-10-2023	ADDITIONAL INFORMATION FOR DA
B	30-08-2024	ADDITIONAL INFORMATION FOR DA

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At
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WOLLONGONG

For
BURELLI INVESTMENTS PTY LTD

Title
DEVELOPMENT APPLICATION
PART SECTIONS 02

Scale
1:50 @ A1
1:100 @ A3

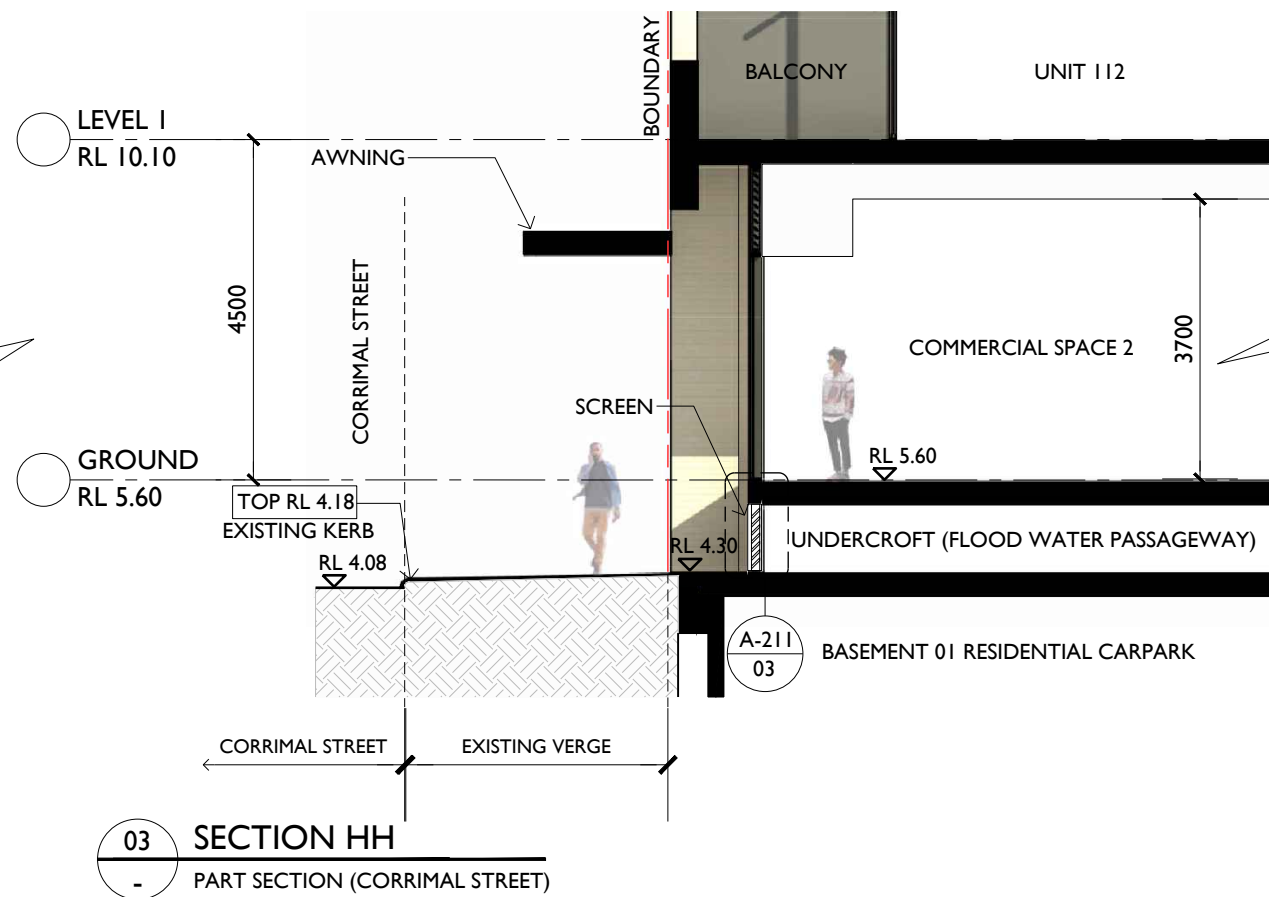
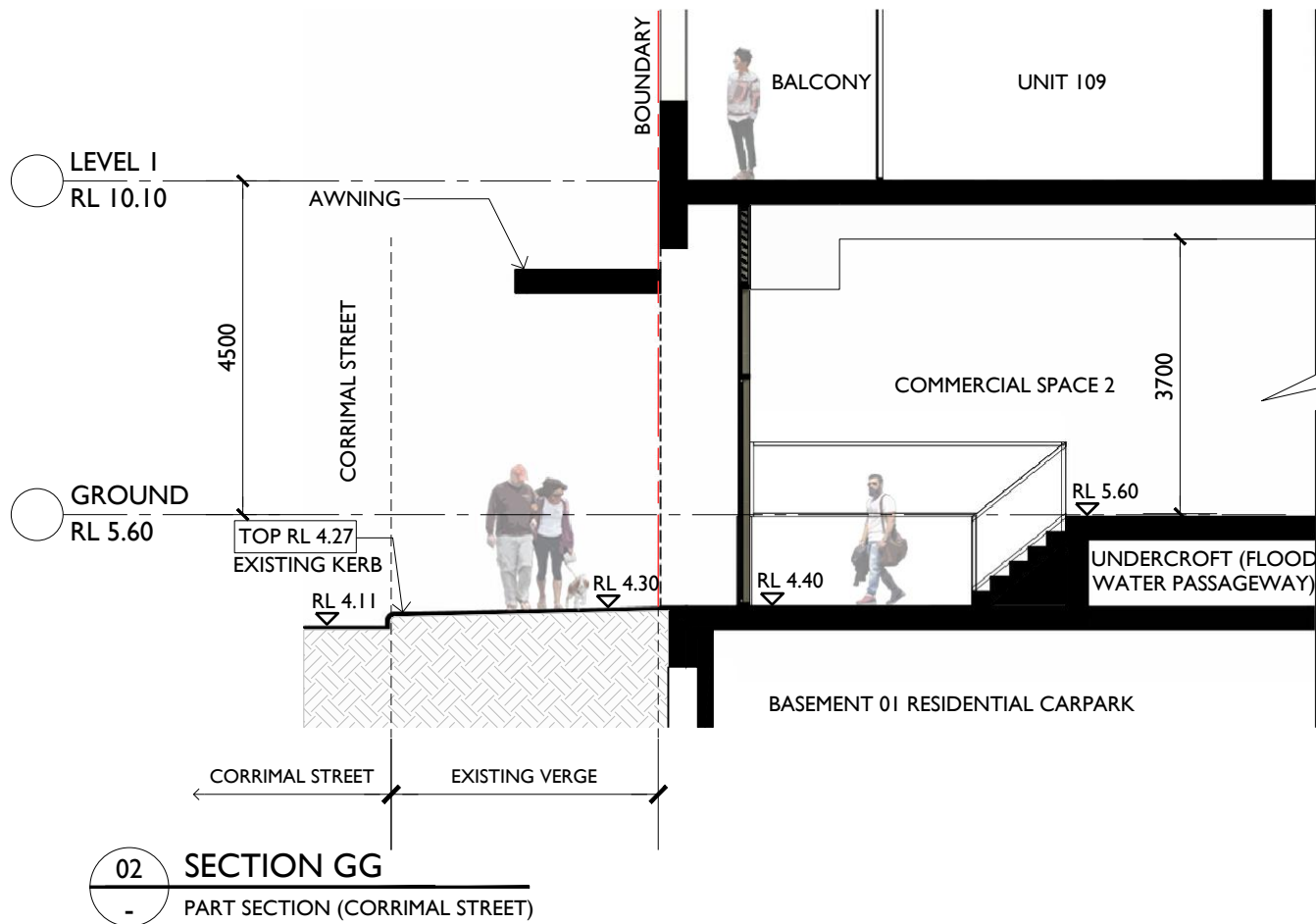
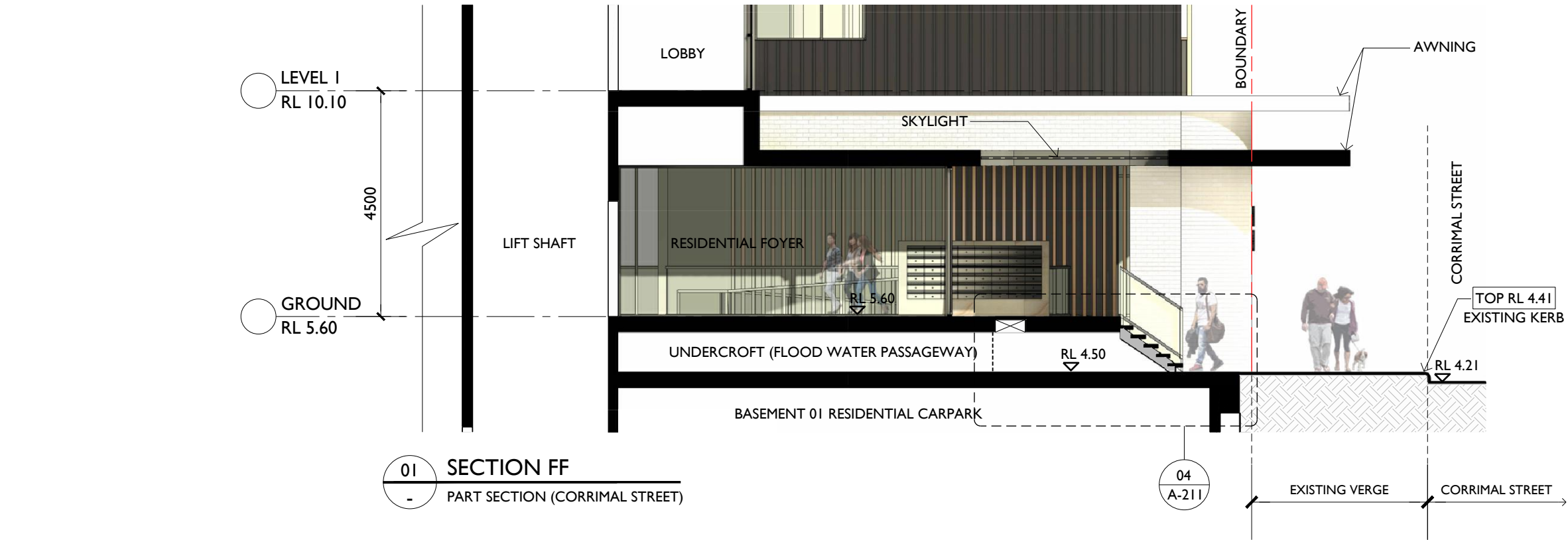
Drawn
LGD, HR, CA

Project No.
2021-32

Drawing No.
A-211

Issue
B

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At
37-39 BURELLI STREET
WOLLONGONG

For
BURELLI INVESTMENTS PTY LTD

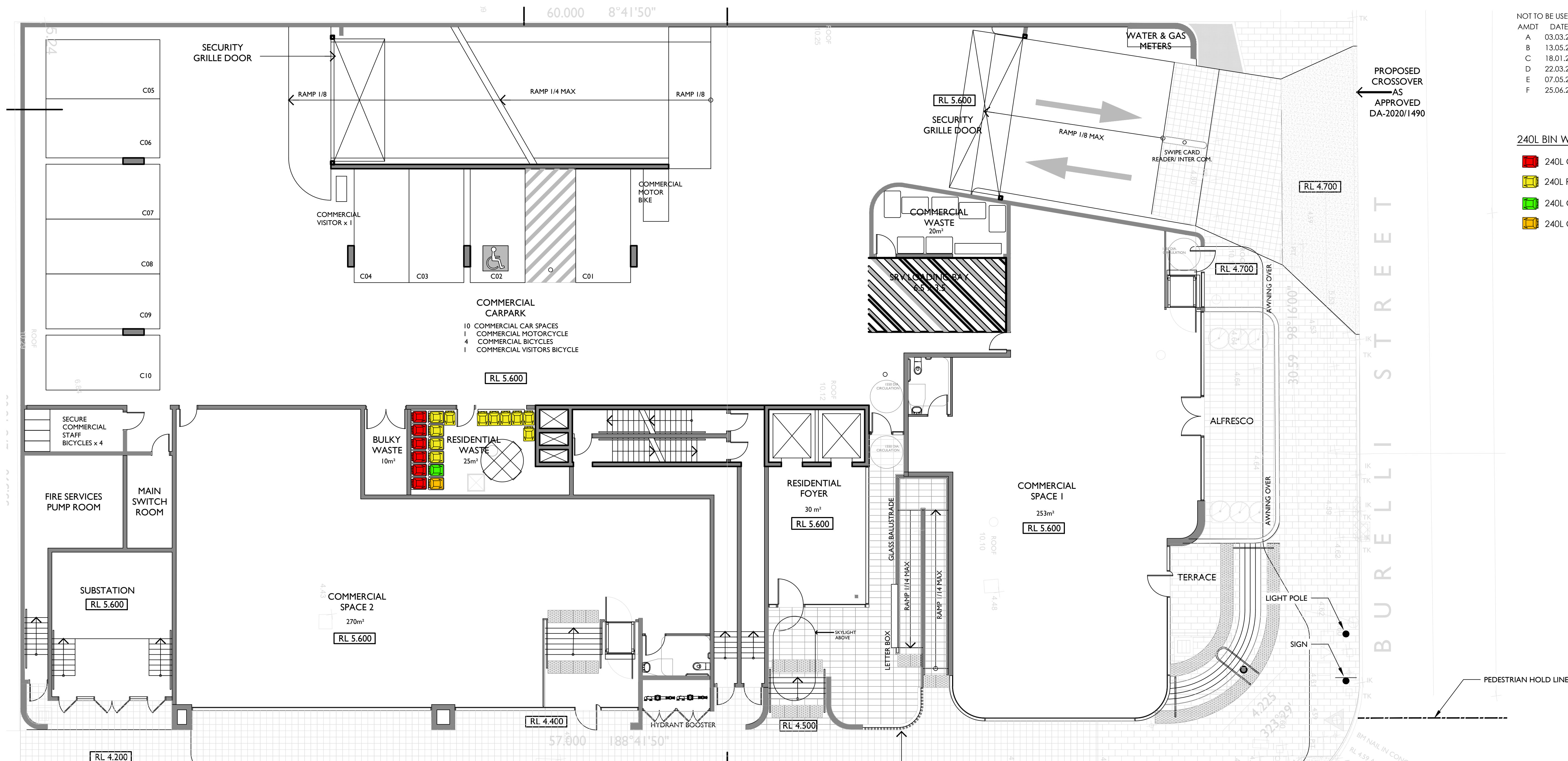
Title
DEVELOPMENT APPLICATION
PART SECTIONS 03

Scale 1:50 @ A1 1:100 @ A3	Date OCTOBER 2023
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Drawn LGD, HR, CA	Checked ADM
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Project No. 2021-32	Drawing No. A-212	Issue A
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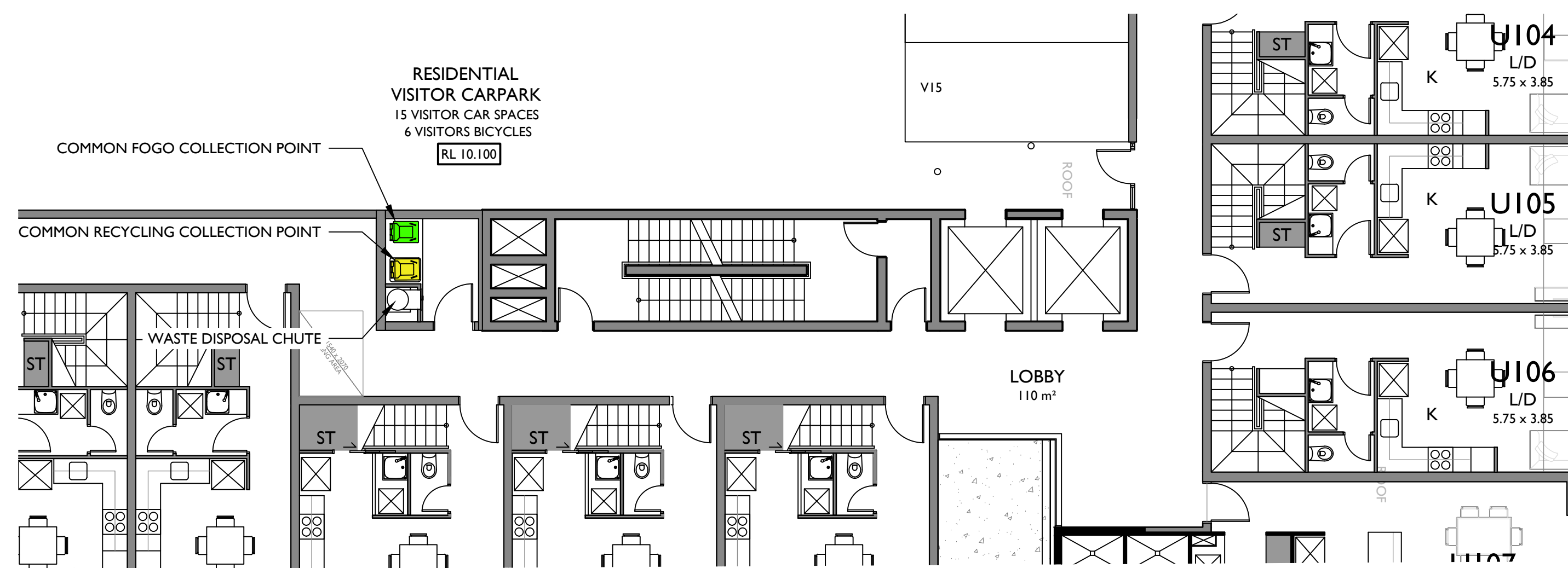
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AMDT	DATE	DESCRIPTION	BY
A	03.03.22	ISSUED FOR DA	DJ
B	13.05.22	ISSUED FOR DA	DJ
C	18.01.24	ISSUED FOR DA	DJ
D	22.03.24	ISSUED FOR DA	IC
E	07.05.24	ISSUED FOR DA	AW
F	25.06.24	ISSUED FOR DA	IC

240L BIN WASTE TYPE

- 240L GENERAL WASTE BINS
- 240L RECYCLING BINS
- 240L GREEN WASTE BINS
- 240L COMPOST BINS



UPPER LEVEL GARBAGE COLLECTION



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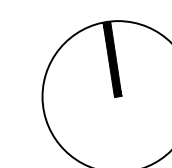
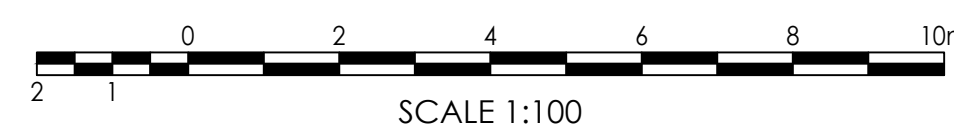
DISCIPLINE
CIVIL DESIGN

PROJECT
MIXED USE DEVELOPMENT

DRAWING TITLE
WASTE MANAGEMENT PLAN

ADDRESS
37-39 BURELLI STREET
WOLLONGONG, NSW-2500

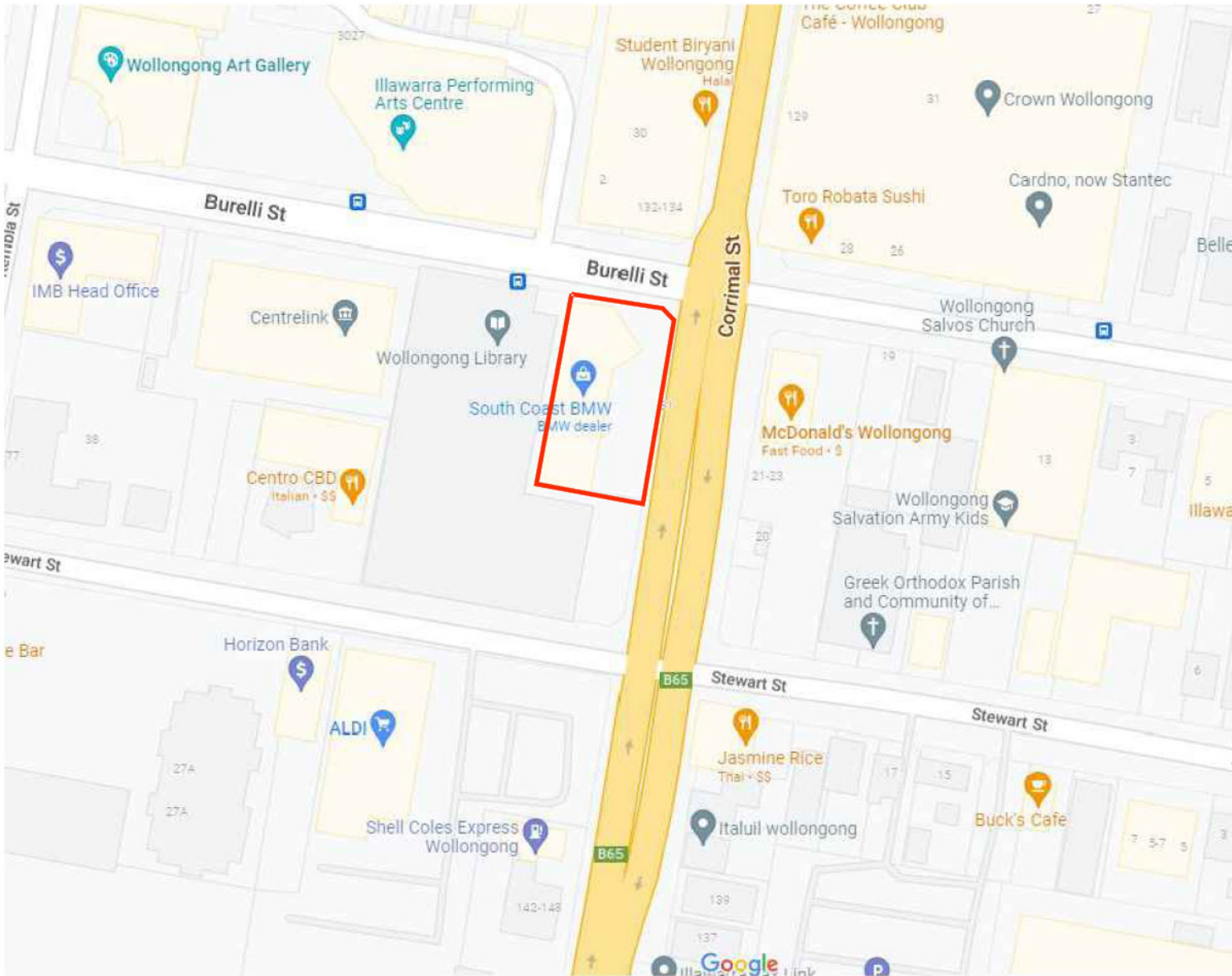
PROJECT DETAILS
DESIGN SF
DRAWN AW
DATE MAR 2019
DRG SIZE A1
SCALE AS SHOWN
PROJECT SF
MGR
WWW.JN.COM.AU
Q0210055
C900 F



MIXED USE DEVELOPMENT

37-39 BURELLI STREET
Wollongong, NSW

LANDSCAPE ARCHITECTURE DOCUMENTATION ISSUE FOR DEVELOPMENT APPLICATION




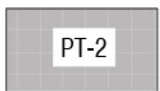
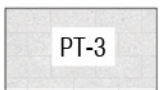
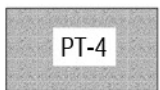


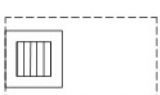




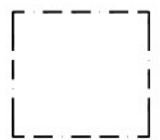



SITE LOCATION

DRAWING LIST

4427-F100	COVER SHEET
4427-F101	LANDSCAPE PLAN - GROUND FLOOR
4427-F102	LANDSCAPE PLAN - THIRD FLOOR

LEGEND

	SITE BOUNDARY Refer Project Survey Drawing		EXISTING TREES To be Retained
FINISHES - HARDSCAPE			
	UNIT PAVING - 1 600 x 300mm Stretcher-Bond Paver In Accordance With The Public Domain Technical Manual		UNIT PAVING - 2 300 x 300mm Stacked-Bond Paver In Accordance With The Public Domain Technical Manual
	UNIT PAVING - 3 600 x 300mm Stretcher-Bond Paver		UNIT PAVING - 4 300 x 300mm Stacked-Bond Paver
	SYNTHETIC GRASS To Future Specification		TIMBER DECKING Timber Look Tiles Or Composite Timber
	STORM SERVICES Refer Project Engineers Drawing		
FINISHES - FENCES & WALLS			
	LANDSCAPE WALL Raised Planter Wall - Height Varies Finish To Match Building Colour		LANDSCAPE WALL - WITH SEATING Raised Planter Wall With Integrated Timber Slat Seating
FURNITURE & STRUCTURES			
	DINING / PICNIC TABLE To Future Specification		POT PLANTS To Future Specification
	PERGOLA STRUCTURE To Future Specification		SFA TREE PLANTER 1000mm L x 1000mm W x 860mm H

PLANTING LEGEND

	NEW TREE LOCATIONS		LARGE SHRUB SPECIES Mix Native & Exotic		SHRUBS AND ACCENT PLANT SPECIES Mix Native & Exotic
	GRASS / FEATURE PLANT SPECIES Mix Native & Exotic		GROUND COVER SPECIES Mix Native & Exotic		

RECOMMENDED SPECIES LIST

BOTANICAL NAME	COMMON NAME
TREES	
<i>Archontophoenix cunninghamiana</i>	Bangalow Palm
<i>Cupaniopsis anacardioides</i>	Tuckeroo
<i>Elaeocarpus eumundii</i>	Smooth Leaved Quandong
<i>Elaeocarpus reticulatus</i>	Blueberry Ash
<i>Magnolia 'Teddy Bear'</i>	Dwarf Magnolia
<i>Plumeria acutifolia</i>	Frangipani
<i>Syzygium australe</i>	Brush Cherry
<i>Tristanopsis laurina</i> 'Luscious'	Water gum
<i>Waterhousea floribunda</i> 'Green Avenue'	Waterhousea
LARGE SHRUBS	
<i>Acmena 'Cherry Surprise'</i>	Lilly Pilly
<i>Callistemon citrinus</i>	Crimson Bottlebrush
<i>Telopea speciosissima</i>	Waratah
<i>Viburnum odoratissimum</i>	Sweet Viburnum
SHRUBS AND ACCENT PLANTS	
<i>Acmena 'Allyn Magic'</i>	Dwarf Lilly Pilly
<i>Agave attenuata</i>	Soft Leaf Agave
<i>Alternanthera 'Little Ruby'</i>	Dwarf Alternanthera
<i>Anthropodium 'Matapouri Bay'</i>	Renga Lily
<i>Asplenium nidus</i>	Bird's Nest Fern
<i>Blechnum gibbum</i> 'Silver Lady'	Silver Lady Fern
<i>Cycas revoluta</i>	Cycad
<i>Diodia aspera</i>	Native Rasp Fern
<i>Doryanthes excelsa</i>	Gymea Lily
<i>Gardenia augusta</i> 'Florida'	Florida Gardenia
<i>Phormium tenax</i>	NZ Flax
<i>Philodendron 'Xanadu'</i>	Philodendron
<i>Sansevieria trifasciata</i>	Mother In-law Tongue
<i>Sterlitzia reginea</i>	Birds of Paradise
<i>Westringia 'Gray Box'</i>	Coastal Rosemary
<i>Zamia furfuracea</i>	Cardboard plant
GROUND COVERS & GRASSES	
<i>Carpobrotus glaucescens</i>	Pig Face
<i>Casuarina 'Cousin It'</i>	Casuarina
<i>Convolvulus sabatius</i>	Ground Morning Glory
<i>Dichondra argentea</i> 'Silver Falls'	Dichondra
<i>Dichondra repens</i>	Kidney Weed
<i>Dianella 'Cassa Blue'</i>	Paroo Lily
<i>Lomandra 'Tanika'</i>	Mat rush
<i>Gardenia radicans</i>	Gardenia
<i>Liriope muscari</i> 'Evergreen Giant'	Lily Turf
<i>Myoporum parvifolium</i>	Creeping Boobialla
<i>Senecio serpens</i>	Blue chalk sticks
<i>Trachelospermum jasminoides</i>	Star Jasmine

C B A	DP DP DP	YW YW YW	DP DP DP	  	20-01-2023 22-12-2022 03-06-2022	ISSUE FOR DEVELOPMENT APPLICATION ISSUE FOR DEVELOPMENT APPLICATION ISSUE FOR DEVELOPMENT APPLICATION
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dsb
Landscape
Architects
www.dsb1a.com.au

Suite 1, Ground Floor,
Enterprise 1 Innovation
Campus, Scrimm Way
North Wollongong
NSW 2500


Ph: 02 4258 3511
dsb@dsb1a.com.au

Project	MIXED USE DEVELOPMENT 37-39 BURELLI STREET WOLLONGONG, NSW		
Client	BURELLI INVESTMENTS PTY LTD		

Drawing Title		COVER PAGE	
Drg. No.	4427-F100	Sheet No.	1

- DESIGN NOTES
- A RAISED PLANTERS FEATURING A MIXTURE OF NATIVE AND EXOTIC SPECIES WITH TREE PLANTINGS PROVIDING NATURAL SHADE TO SEATING AREAS
 - B SHELTERED BBQ SEATING AREA BENEATH PERGOLA STRUCTURE
 - D PLANTINGS IN DECORATIVE POTS
 - E LEVEL GRASS RECREATION / PICNIC AREA
 - F COMMUNITY GARDEN AREA WITH RAISED PLANTERS FOR GROWING PRODUCE
 - G CANTILEVERED TRELLIS STRUCTURE WITH CLIMBER SPECIES AT BASE



D C B A	DP DP DP DP	IL YW YW	DP DP DP	  	25-10-2023 23-10-2023 22-12-2022 03-06-2022	ISSUE FOR DEVELOPMENT APPLICATION ISSUE FOR DEVELOPMENT APPLICATION ISSUE FOR DEVELOPMENT APPLICATION ISSUE FOR DEVELOPMENT APPLICATION
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0

1


2

3

4

5m

1:100 @ A1 1:200 @ A3



dsb

Landscape Architects

www.dsbia.com.au

Suite 1, Ground Floor,
Enterprise Innovation
Campus, Squares Way
North Wollongong
NSW 2500

Ph: 02 4258 3511
info@dsb.com.au



Project

MIXED USE DEVELOPMENT
37-39 BURELLI STREET
WOLLONG, NSW

Client

BURELLI INVESTMENTS PTY LTD

Drawing Title

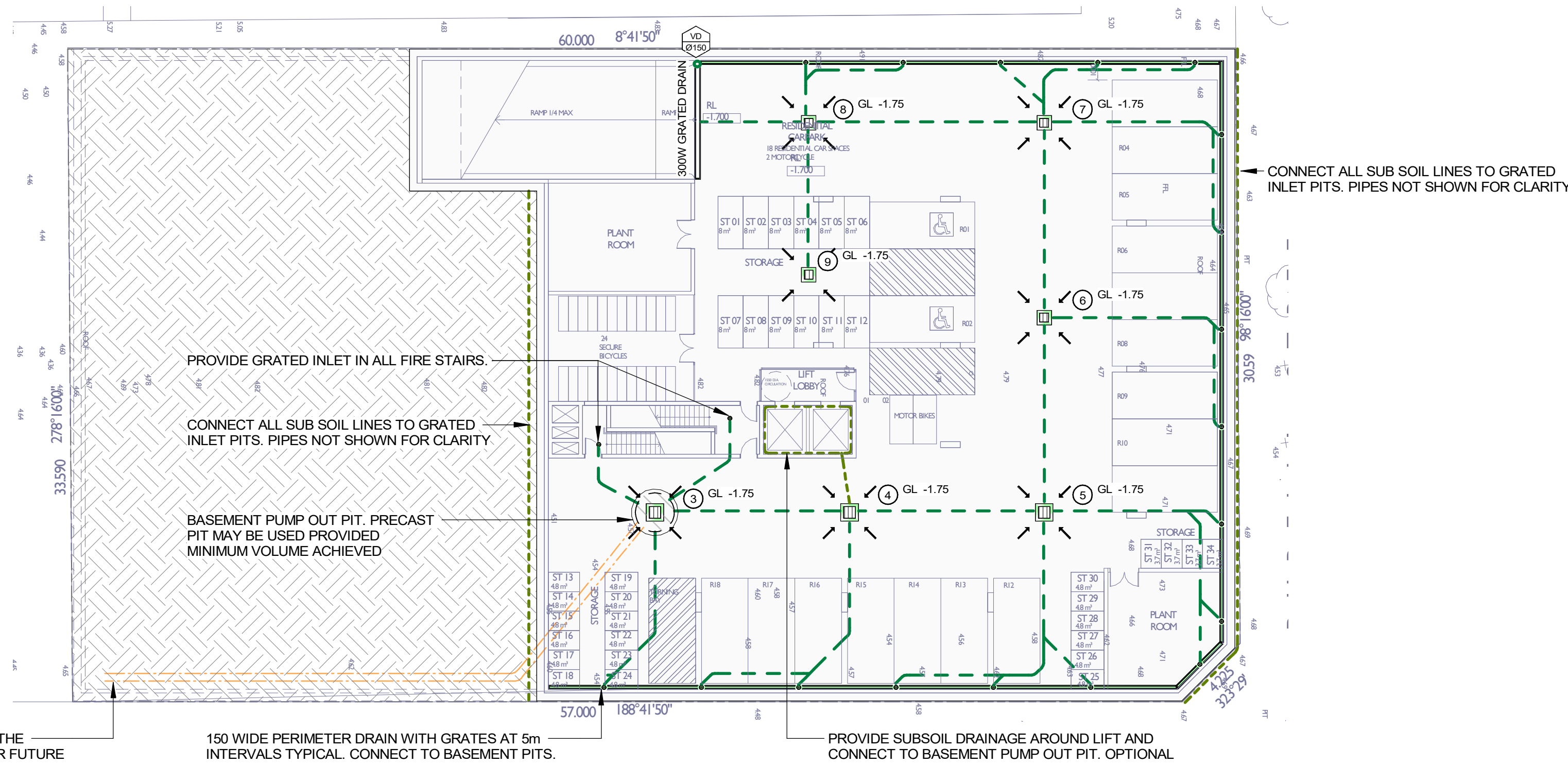
LANDSCAPE PLAN
THIRD FLOOR

Drg. No.

4427-F102 D

Sheet No.

3



2x Ø80 RISING MAINS TO PIT. NOTE THE EXTRA 80Ø RISING MAIN ALLOW FOR FUTURE PROOFING IN CASE OF ADVERSE GROUND WATER INUNDATION.

150 WIDE PERIMETER DRAIN WITH GRATES AT 5m INTERVALS TYPICAL. CONNECT TO BASEMENT PITS.

PROVIDE SUBSOIL DRAINAGE AROUND LIFT AND CONNECT TO BASEMENT PUMP OUT PIT. OPTIONAL

BASEMENT 2 DRAINAGE PLAN

Scale: 1 : 200

1. ALL PIPES TO BE 100mmØ @ 1% MINIMUM UNLESS KNOWN OTHERWISE.
2. ALL BASES OF PITS TO BE BENCHED (TO HALF PIPE DEPTH) TO THE INVERT OF THE OUTLET PIPE WITH ALL PIPES CUT FLUSH WITH SIDE OF PIT. TO ALLOW SMOOTH FLOW OF STORMWATER.
3. PROVIDE GALVANISED ANGLE SURROUNDINGS TO GRATE WHERE IN TRAFFICABLE AREAS.

LEGEND

- HARDSTAND
- EARTH

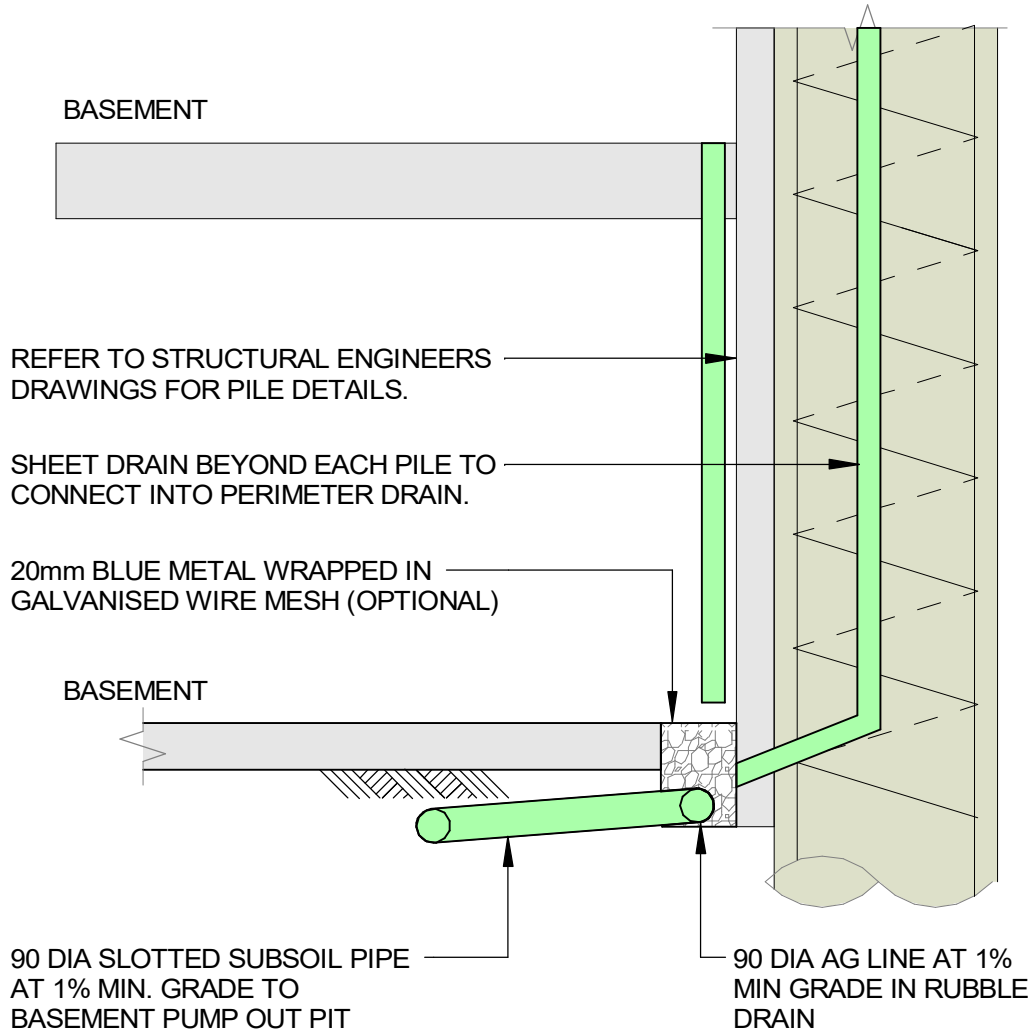
CIV - FIXTURES SCHEDULE		
	TYPE	DESCRIPTION
		GRATED STORMWATER PIT
		PERIMETER GRATES
		PERIMETER STRIP DRAIN
		RAINWATER OUTLET
		SLIMLINE TANK
	300W	GRATED STRIP DRAIN

CIV - STANDARD SYMBOLS

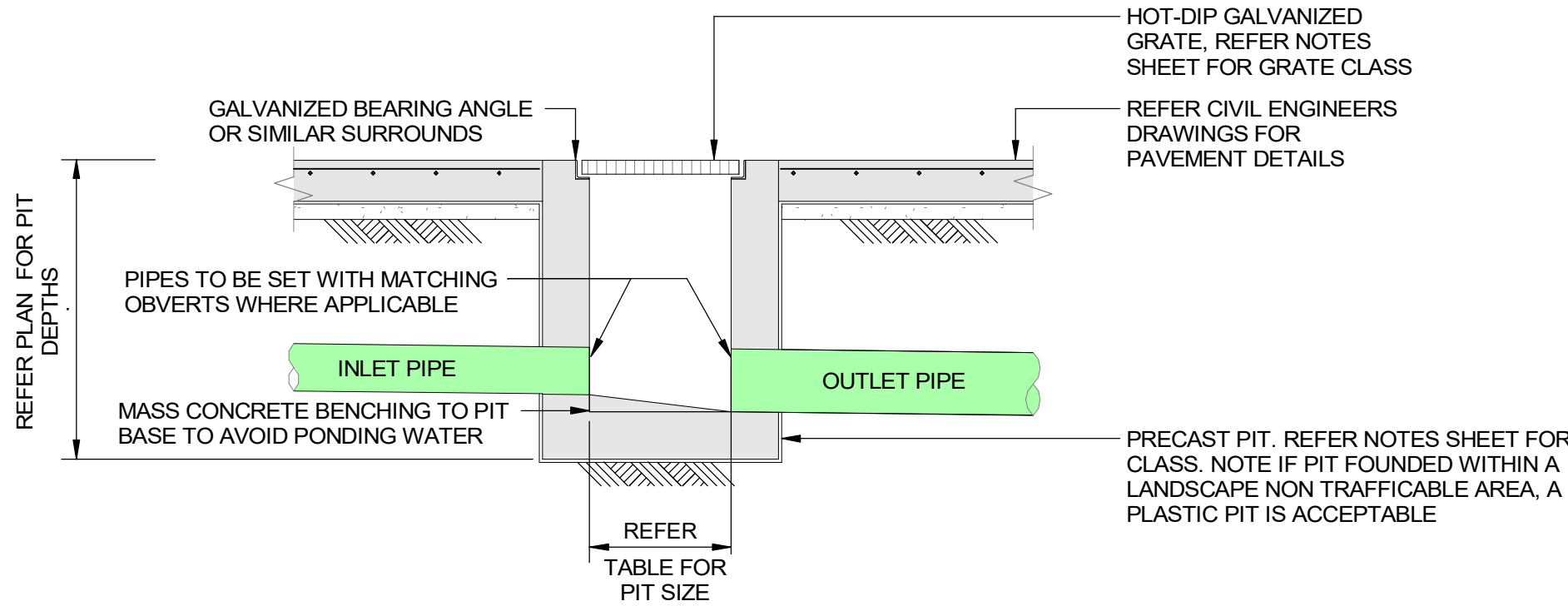
	DESCRIPTION
	FALL ARROW

CIV - STORMWATER SERVICES

	TYPE	DESCRIPTION
	RM	RISING MAIN
	SS	SUB SOIL DRAINAGE
	STW	STORMWATER
	STW EX	EXISTING STORMWATER



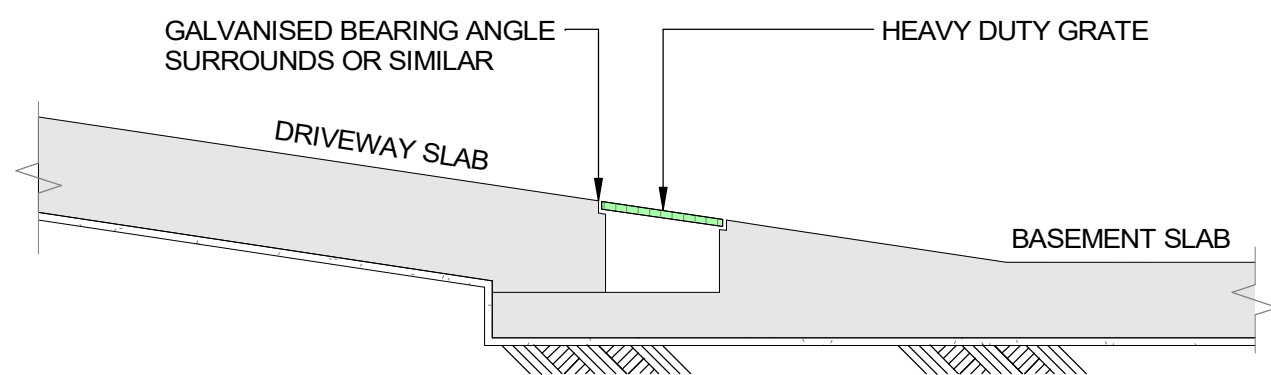
TYPICAL GROUNDWATER DRAINAGE DETAIL (PILE WALL)
Scale: 1 : 20



1. ENSURE CLIMB IRONS ARE PROVIDED UNDER LID AT 300 CTS TO COUNCIL'S SPECIFICATIONS WHERE PIT DEPTH IS DEEPER THAN 1000.
2. GREENVIEW RECOMMENDS THE PLUMBER PROVIDES 900Ø x 3000 LONG SUBSOIL DRAINAGE STUB PIPE SURROUNDED WITH 100mm THICKNESS OF NOMINAL 20mm COARSE FILTER MATERIAL WRAPPED IN GEOTEXTILE FILTER FABRIC. (BIDUM A24 OR APPROVED SIMILAR). TO BE PARALLEL TO UPSTREAM SIDE OF EACH INLET PIPE.

PIT SIZE	
DEPTH	PIT DIMENSION
0 - 600	450 mm x 450 mm
600 - 900	600 mm x 600 mm
900 - 1200	600 mm x 900 mm
1200 +	900 mm x 900 mm

TYPICAL CONCRETE INLET PIT - CONCRETE SURFACE
Scale: 1 : 20



TYPICAL GRATED DRAIN DETAIL
Scale: 1 : 20

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1	03.11.2023	JPS	DA ISSUE	
REV.	DATE	BY	DA ISSUE	DESCRIPTION

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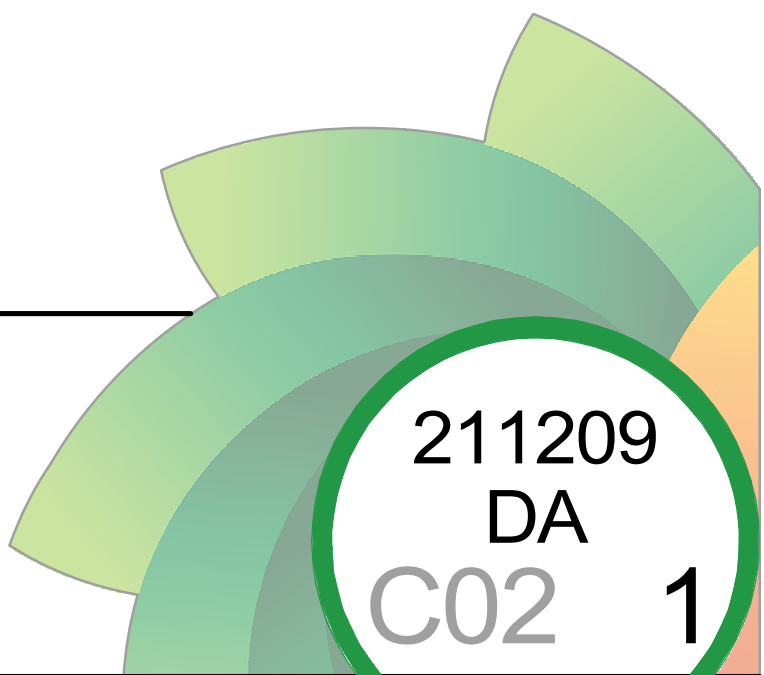
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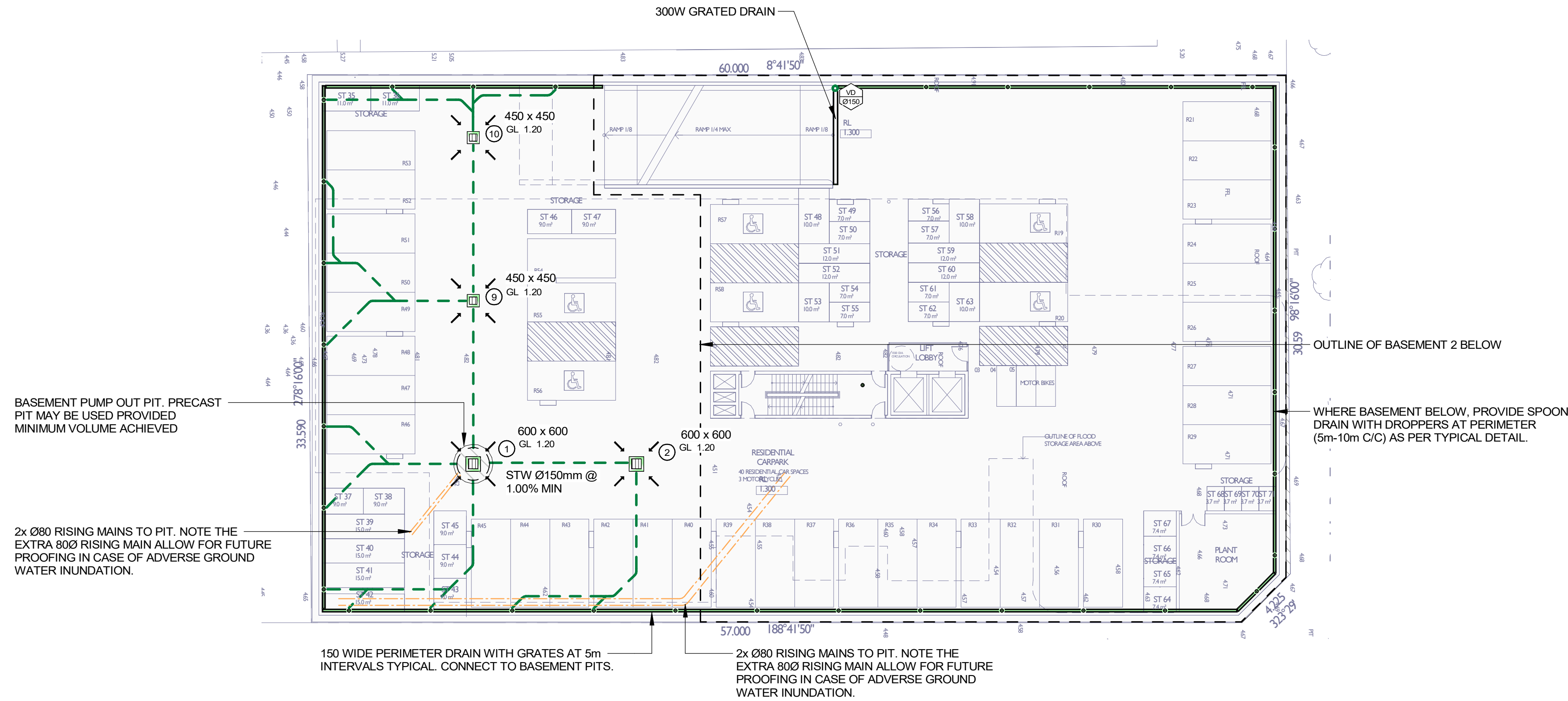


DESIGN: RC | DRAWN: JPS | CHECKED: AMcK | SIZE: A1 | SCALE: As indicated

CIVIL DESIGN

BASEMENT 2 DRAINAGE PLAN







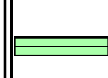

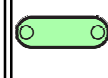



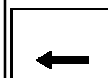
BASEMENT 1 DRAINAGE PLAN
Scale: 1 : 200



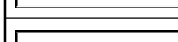

1. ALL PIPES TO BE 100mmØ @ 1% MINIMUM UNLESS KNOWN OTHERWISE.
2. ALL BASES OF PITS TO BE BENCHMARKED (TO HALF PIPE DEPTH) TO THE INVERT OF THE OUTLET PIPE WITH ALL PIPES CUT FLUSH WITH SIDE OF PIT, TO ALLOW SMOOTH FLOW OF STORMWATER.
3. PROVIDE GALVANISED ANGLE SURROUNDINGS TO GRATE WHERE IN TRAFFICABLE AREAS.

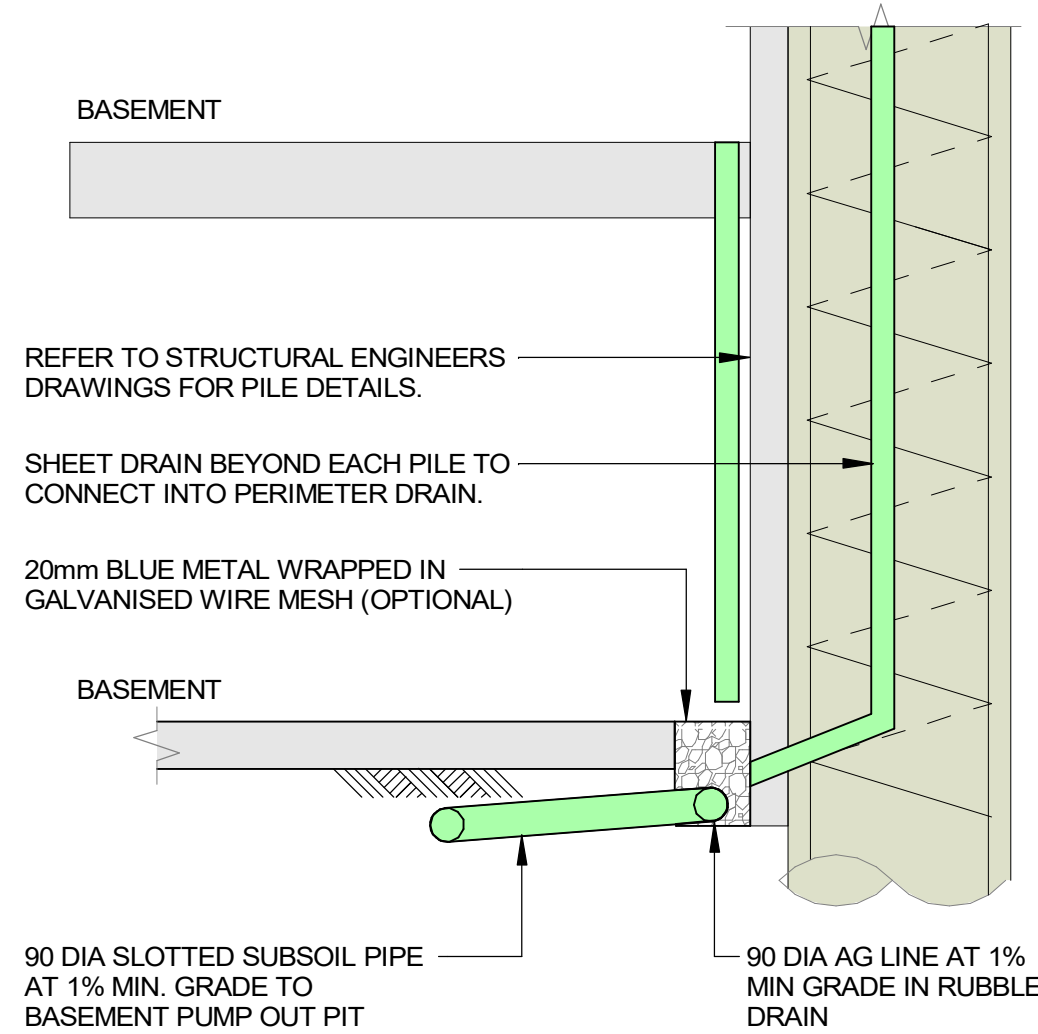
LEGEND

-  • HARDSTAND
-  • EARTH

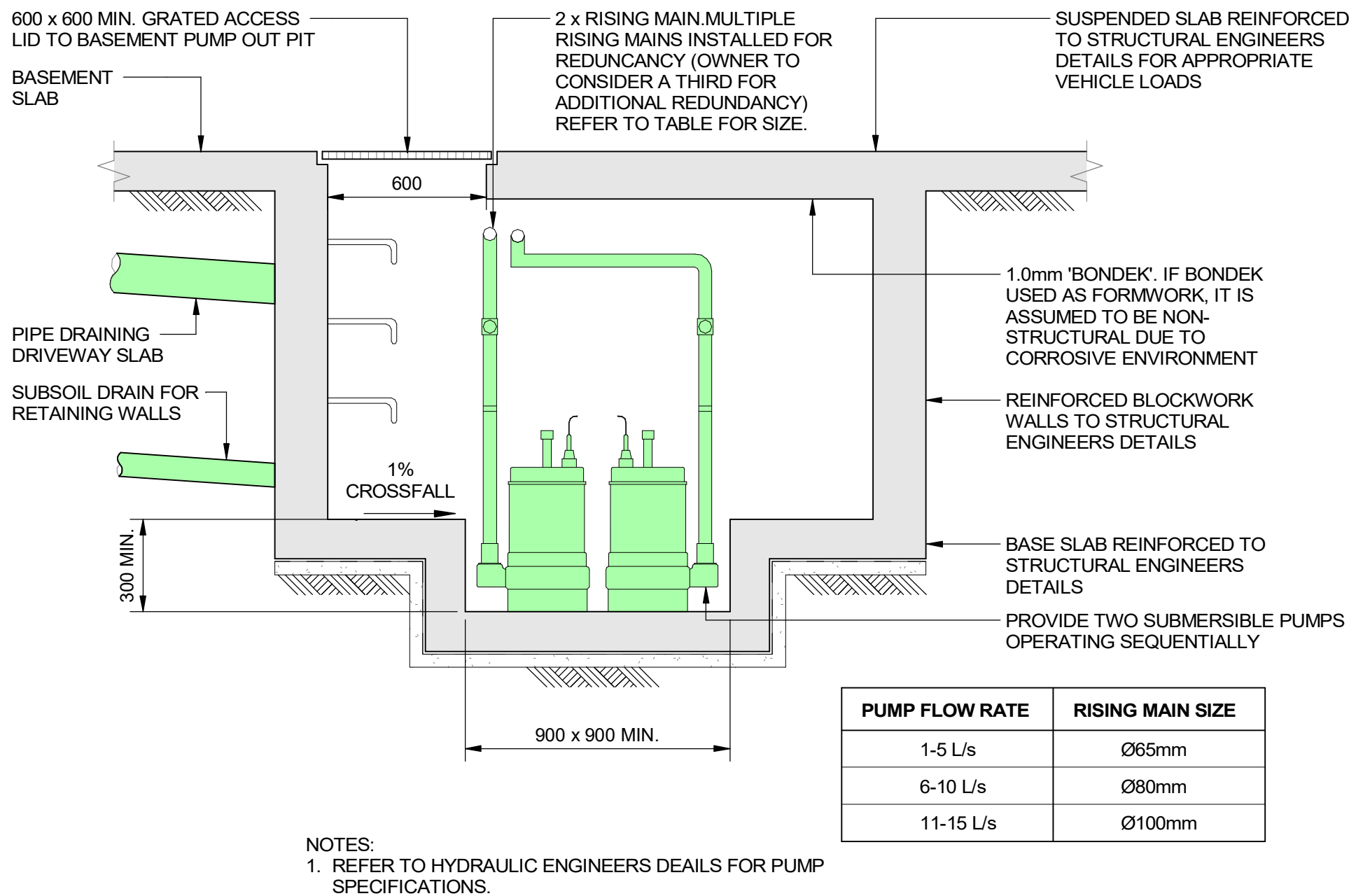
CIV - FIXTURES SCHEDULE		
	TYPE	DESCRIPTION
		GRATED STORMWATER PIT
		PERIMETER GRATES
		PERIMETER STRIP DRAIN
		RAINWATER OUTLET
		SLIMLINE TANK
	300W	GRATED STRIP DRAIN

CIV - STANDARD SYMBOLS	
	DESCRIPTION
	FALL ARROW

CIV - STORMWATER SERVICES		
	TYPE	DESCRIPTION
	RM	RISING MAIN
	SS	SUB SOIL DRAINAGE
	STW	STORMWATER
	STW EX	EXISTING STORMWATER



TYPICAL GROUNDWATER DRAINAGE DETAIL (PILE WALL)
Scale: 1 : 20



BASEMENT PUMPOUT TANK DETAIL
Scale: 1 : 20

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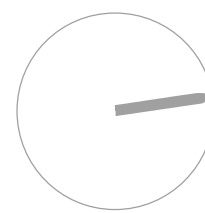
PROPOSED DEVELOPMENT

37-39 Burelli St, Wollongong, NSW

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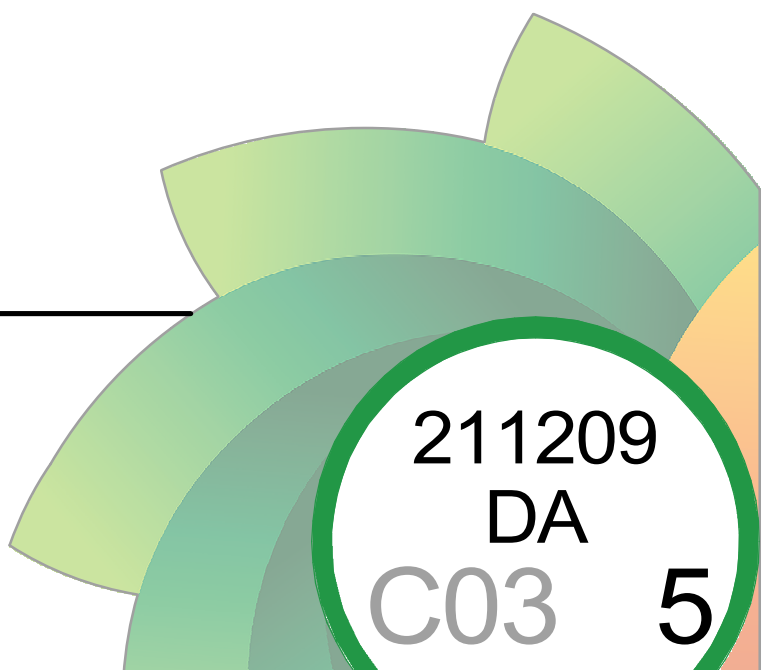
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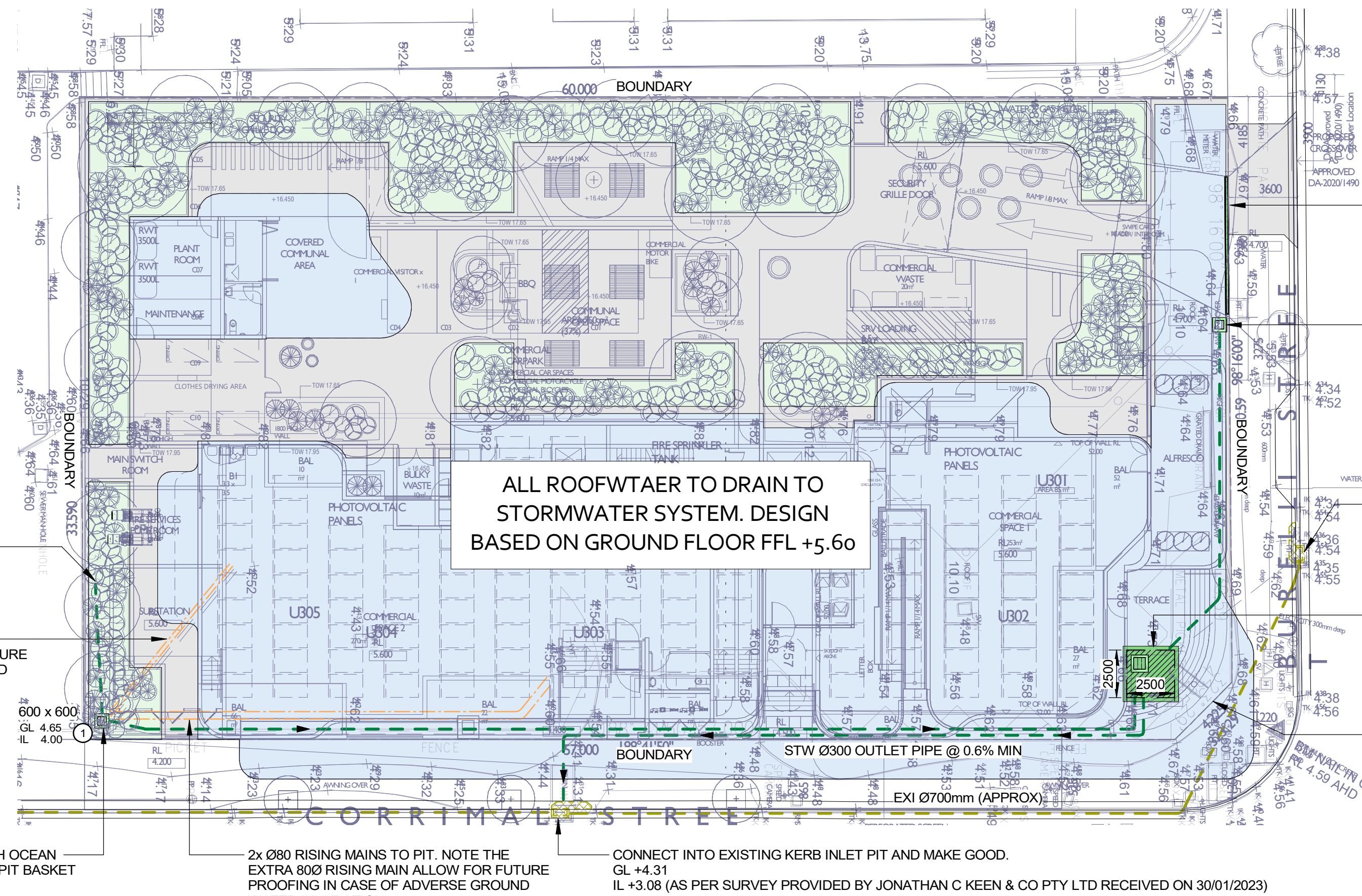


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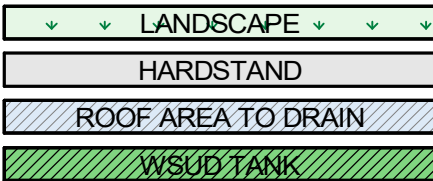
CIVIL DESIGN

BASEMENT 1 DRAINAGE PLAN





GENERAL LEGEND



CIV - FIXTURES SCHEDULE		
	TYPE	DESCRIPTION
		GRATED STORMWATER PIT
		PERIMETER GRATES
		PERIMETER STRIP DRAIN
		RAINWATER OUTLET
		SLIMLINE TANK
	300W	GRATED STRIP DRAIN

CIV - STORMWATER SERVICES		
	TYPE	DESCRIPTION
	RM	RIISING MAIN
	SS	SUB SOIL DRAINAGE
	STW	STORMWATER
	STW EX	EXISTING STORMWATER

GROUND FLOOR DRAINAGE PLAN
Scale: 1 : 200

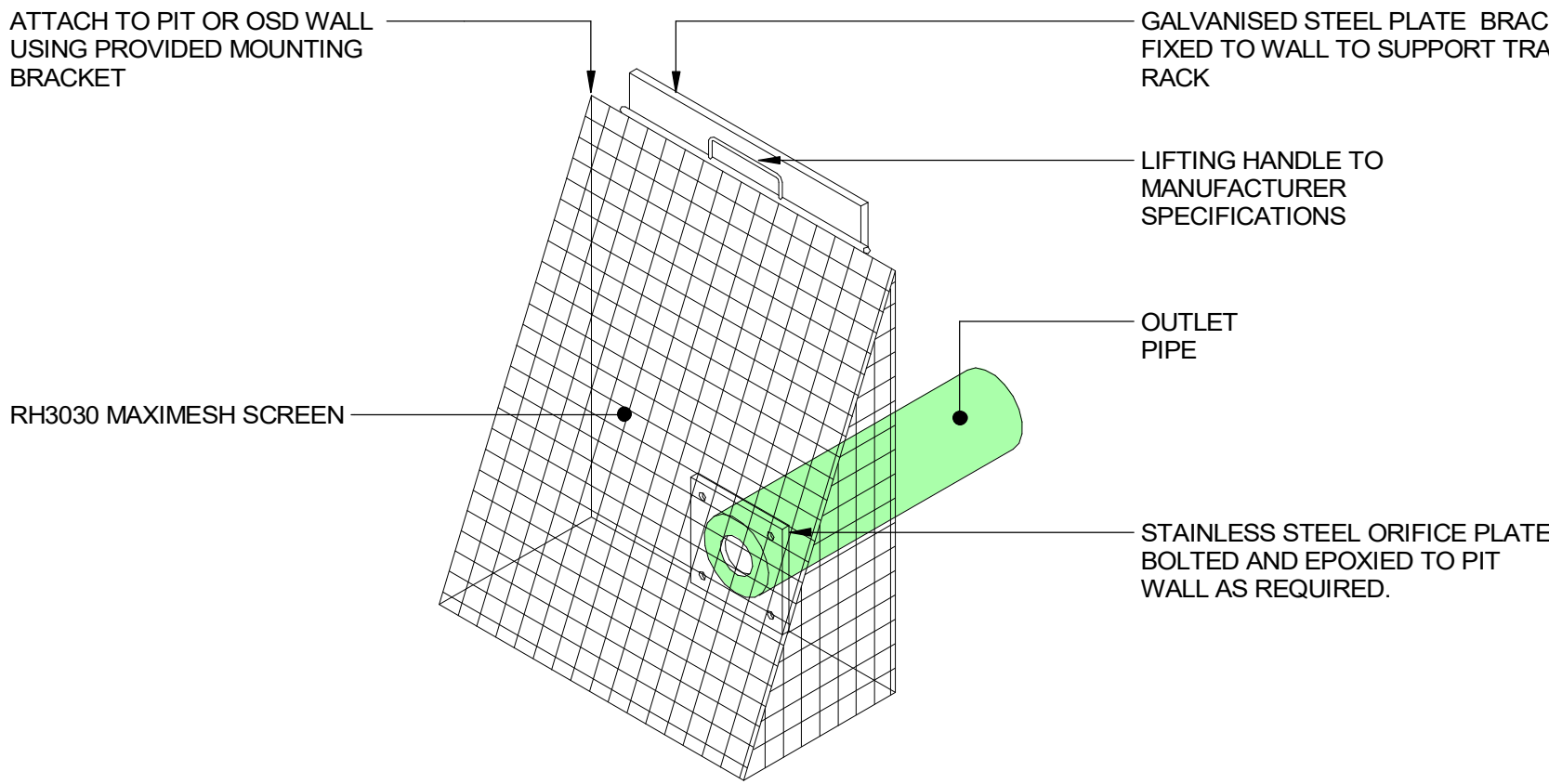
- ALL NEW WORKS SHALL MAKE A SMOOTH JUNCTION WITH EXISTING.
- THE BUILDER/CONTRACTOR SHALL LOCATE ALL EXISTING PUBLIC UTILITY SERVICES WITHIN THE SITE, FOOTPATH AREA AND ROAD RESERVE PRIOR TO THE COMMENCEMENT OF ANY WORKS. ALL LOCATIONS AND LEVELS OF SERVICES SHALL BE REPORTED TO THE STORMWATER ENGINEER PRIOR TO THE COMMENCEMENT OF ANY WORKS TO ENSURE THERE ARE NO OBSTRUCTIONS IN THE LINE OF THE DRAINAGE DISCHARGE PIPES.
- PRIOR TO COMMENCING ANY WORKS ON THE SITE, THE BUILDER SHALL ENSURE THAT THE INVERT LEVELS OF WHERE THE SITE STORMWATER SYSTEM CONNECTION INTO COUNCIL'S KERB/DRAINAGE SYSTEM MATCH THE DESIGN LEVELS. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER IMMEDIATELY.
- ALL STORMWATER DRAINAGE WORK TO AVOID TREE ROOTS. WHERE NOT POSSIBLE, ALL EXCAVATIONS IN VICINITY OF TREE ROOTS ARE TO BE HAND DUG.
- ALL BASES OF PITS TO BE BENCHED (TO HALF PIPE DEPTH) TO THE INVERT OF THE OUTLET PIPE WITH ALL PIPES CUT FLUSH WITH SIDE OF PIT, TO ALLOW SMOOTH FLOW OF STORMWATER.
- PROVIDE GALVANISED ANGLE SURROUNDINGS TO GRATE WHERE IN TRAFFICABLE AREAS.
- PROVIDE 100mm GAP IN BASE OF FENCE FOR EMERGENCY OVERFLOWS.
- PROVIDE SUBSOIL DRAINAGE AND OUTLETS TO ALL ON PODIUM PLANTER BOXES. OUTLET PIPES NOT SHOWN FOR CLARITY OF DOCUMENTATION.
- ALL DOWNPIPES ARE TO BE PIPE CONNECTED INTO THE FORMAL RAINWATER OR STORMWATER LINE UNLESS SPECIFICALLY NOTED ON THE DRAWINGS OTHERWISE.

OSD CALCULATIONS

- NO OSD REQUIRED FOR SITES THAT MAINTAIN OR REDUCE EXISTING IMPERVIOUS%
- SITE AREA = 2010m²
- PRE-DEVELOPMENT IMPERVIOUS AREA = 100%
- PRE-DEVELOPMENT IMPERVIOUS AREA = 100% (IGNORING PROPOSED PODIUM PLANTING, OF WHICH 548m² IS PROPOSED)
- THUS, NO OSD REQUIRED AS WCC SPREADSHEET CALCULATES ZERO (0) VOLUME.

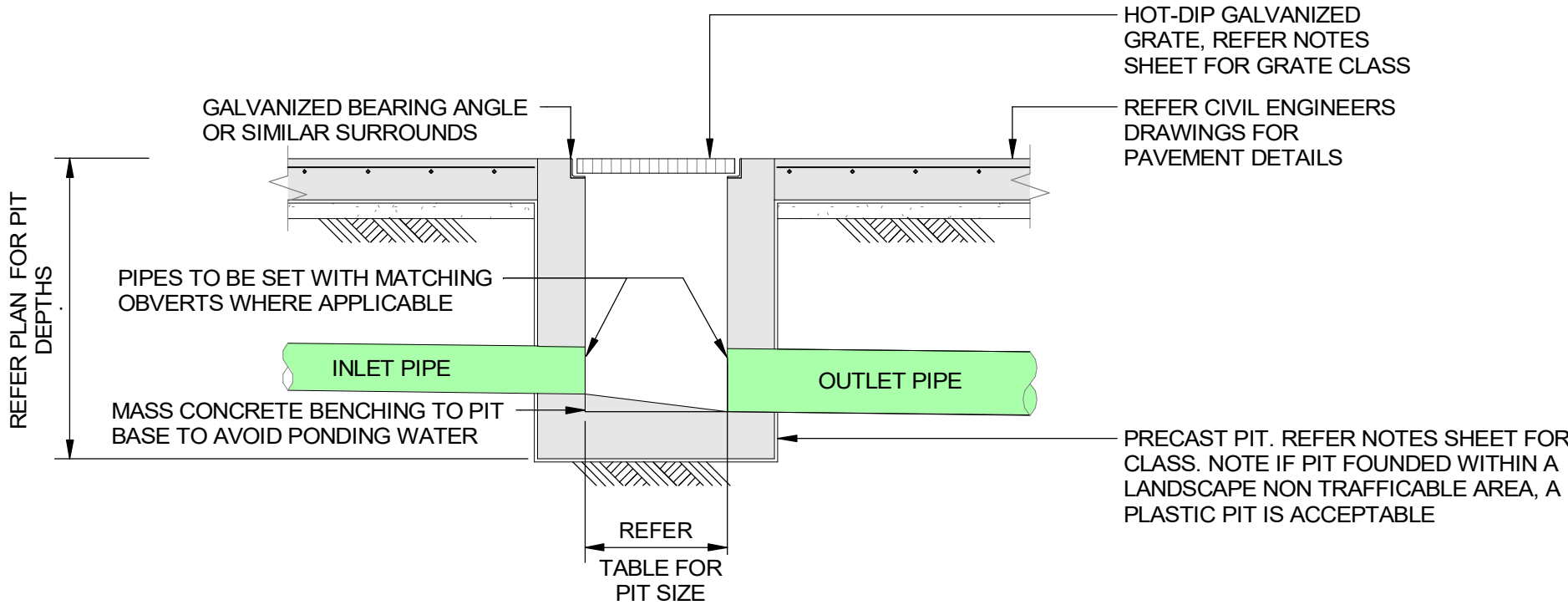
WSUD CALCULATIONS
REFER GREENVIEW WSUD REPORT
WSUD ITEMS REQUIRED:

- WSUD BAY = 6m² IN PLAN AREA
- OCEAN PROTECT 5 X 690mm PSORB CARTS
- OCEAN PROTECT OCEAN GUARD PIT BASKETS AS NOTED



PROVIDE PRE-MADE TRASH SCREEN AS PER MASCOT ENGINEERING "MULTI-PURPOSE TRASH SCREENS" OR APPROVED EQUIVALENT

TYPICAL TRASH SCREEN DETAIL
Scale: 1 : 10



- ENSURE CLIMB IRONS ARE PROVIDED UNDER LID AT 300 CTS TO COUNCIL'S SPECIFICATIONS WHERE PIT DEPTH IS DEEPER THAN 1000.
- GREENVIEW RECOMMENDS THE PLUMBER PROVIDES 90Dia x 3000 LONG SUBSOIL DRAINAGE STUB PIPE SURROUNDED WITH 100mm THICKNESS OF NOMINAL 20mm COARSE FILTER MATERIAL WRAPPED IN GEOTEXTILE FILTER FABRIC. (BIDUM A24 OR APPROVED SIMILAR). TO BE PARALLEL TO UPSTREAM SIDE OF EACH INLET PIPE.

PIT SIZE	
DEPTH	PIT DIMENSION
0 - 600	450 mm x 450 mm
600 - 900	600 mm x 600 mm
900 - 1200	600 mm x 900 mm
1200 +	900 mm x 900 mm

TYPICAL CONCRETE INLET PIT - CONCRETE SURFACE
Scale: 1 : 20

REV.	DATE	BY	DESCRIPTION
8	03.11.2023	JPS	DA ISSUE
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6	17.02.2023	JPS	DA ISSUE
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4	01.06.2022	JPS	DA ISSUE
3	23.05.2022	JPS	ISSUED FOR APPROVAL
2	02.12.2020	JPS	ISSUED FOR APPROVAL
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PROPOSED DEVELOPMENT

37-39 Burelli St, Wollongong, NSW

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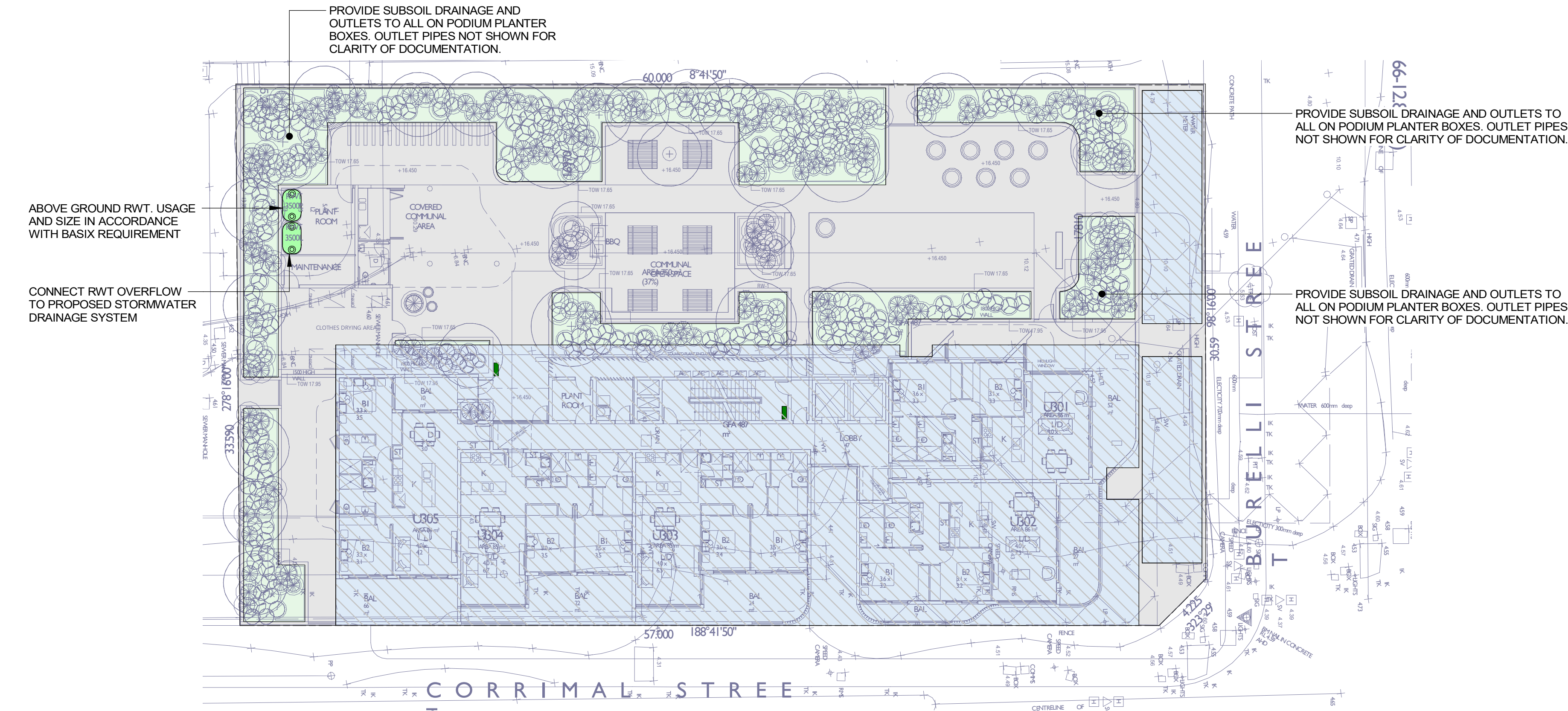


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CIVIL DESIGN

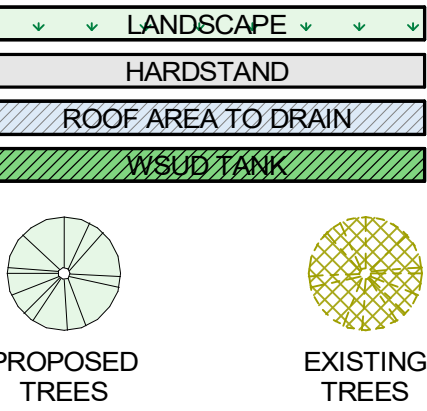
GROUND FLOOR DRAINAGE PLAN

211209
DA
C04
8



LEVEL 3 DRAINAGE PLAN
Scale: 1:200

GENERAL LEGEND



CIV - FIXTURES SCHEDULE		
	TYPE	DESCRIPTION
		GRATED STORMWATER PIT
		PERIMETER GRATES
		PERIMETER STRIP DRAIN
		RAINWATER OUTLET
		SLIMLINE TANK
	300W	GRATED STRIP DRAIN

CIV - STANDARD SYMBOLS	
	DESCRIPTION
	FALL ARROW

CIV - STORMWATER SERVICES		
	TYPE	DESCRIPTION
	RM	RISING MAIN
	SS	SUB SOIL DRAINAGE
	STW	STORMWATER
	STW EX	EXISTING STORMWATER

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	1	01.06.2022	JPS	DA ISSUE	
REV.	DATE	BY		DESCRIPTION	

PROPOSED DEVELOPMENT

37-39 Burelli St, Wollongong, NSW

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CIVIL DESIGN

LEVEL 3 DRAINAGE PLAN

